

THE NØRA & VALARI RESIDENCES

CITY OF POULSBO, WASHINGTON



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G-A15	5/26/26	AERIAL PERSPECTIVE				A-A07	5/26/26	BUILDING 'A' - FOURTH FLOOR PLAN			



SITE DATA

WEST PARCEL:

ADDRESS: UNASSIGNED
 TAX #: 142601-3-138-2008
 AREA: 49,658 S.F. (1.14 Acres)
 ZONING: C-1 (COMMERCIAL)

EAST PARCEL:

ADDRESS: UNASSIGNED
 TAX #: 142601-3-139-2007
 AREA: 46,174 S.F. (1.06 Acres)
 ZONING: RH (RESIDENTIAL - HIGH DENSITY)

PROJECT DESCRIPTION

The project will consist of two multifamily buildings. The west parcel (The Nøra) will be an 82,833 sf building over 4 stories with 40 residential units and 1400 sf of commercial space in the NW corner. The building will include 2 levels of underbuilding parking, a landscaped forecourt along Jensen and several resident amenities including a gym, club room and roof deck. The east parcel (Valari) will contain a 4 story, 89,334 sf residential building with 44 units (of which 22 are ADUs), underbuilding parking, resident storage and amenities including a gym, club room, secured e-bike parking/charging and a pocket park at the north end of the building.

LEGAL DESCRIPTIONS

Parcel I: (Tax# 142601-3-138-2008)

Resultant Parcel C of Boundary Line Adjustment recorded under Auditor's File No. 200606190271, being a portion of the Southwest quarter of Section 14, Township 26 North, Range 1 East, W.M., in Kitsap County, Washington, described as follows:

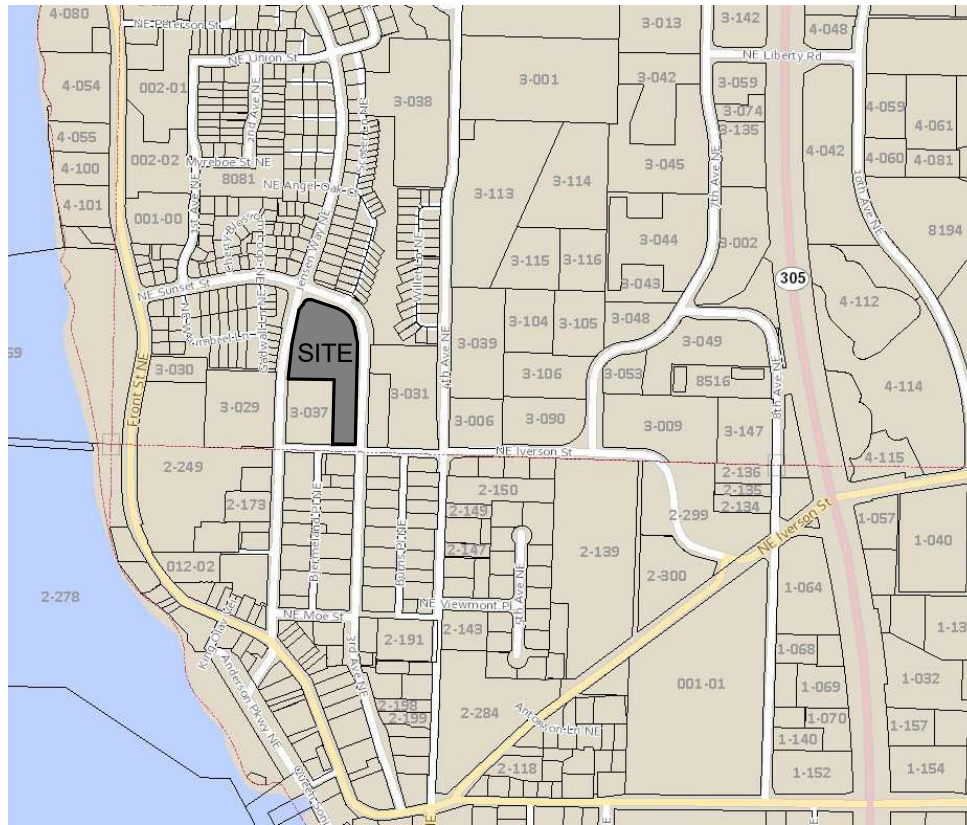
Beginning at the Southwest corner of said Section 14; Thence along the South line of said Section 14, South 88°10'52" East 967.10 feet; Thence leaving said South line, North 02°16'51" East 25.00 feet to the Northerly right of way of said right of way North 88°10'52" West 89.74 feet; Thence leaving said right of way, North 02°16'51" East 256.00 feet to the true point of beginning; Thence continuing North 02°16'51" East 161.63 feet; Thence on a 100.00 foot radius curve to the left, through a central angle of 23°49'13" an arc distance of 41.57 feet; Thence North 21°32'22" West 16.06 feet; Thence on a 30.00 foot radius curve to the right, through a central angle of 56°12'01", an arc distance of 29.43 feet; Thence North 34°39'39" East 30.62 feet; Thence on a 10.00 foot radius curve to the left, through a central angle of 105°14'27", an arc distance of 18.37 feet; Thence North 70°34'48" West 138.52 feet to the Easterly right of way of Jensen Way NE; Thence Southerly along said right of way on a 1700.00 foot radius curve to the left, the center of which bears South 73°38'01" East, through a central angle of 11°11'37" an arc distance of 332.12 feet; Thence leaving said right of way, South 88°10'52" East 183.32 feet to the true point of beginning.

MAX BUILDING FOOTPRINT

RH ZONE: 43,621 G.S.F. x 60% = **26,173 S.F. MAX. (25,050 S.F. PROPOSED (57%))**
 (20% OF LOT SHALL BE LANDSCAPING = 8,724 SF)

C1 ZONE: 46,035 G.S.F. x 85% = **39,130 S.F. MAX. (26,232 S.F. PROPOSED (57%))**

VICINITY PLAN (not to scale)



Parcel II: (Tax# 142601-3-139-2007)

Resultant Parcel D of Boundary Line Adjustment recorded under Auditor's File No. 200606190271, being a portion of the Southwest quarter of Section 14, Township 26 North, Range 1 East, W.M., in Kitsap County, Washington, described as follows:

Beginning at the Southwest corner of said Section 14; Thence along the South line of said Section 14, South 88°10'52" East 967.10 feet; Thence leaving said Section line, North 02°16'51" East 25.00 feet to the Northerly right of way of NE Iverson Street and the true point of beginning; Thence along the Westerly right of way of Third Avenue NE, North 02°16'51" East 405.00 feet; Thence leaving said right of way, North 88°10'52" West 9.00 feet; Thence North 02°16'51" East 32.25 feet; Thence on a 106.00 foot radius curve to the left, through a central angle of 7°25'1"39", an arc distance of 134.80 feet; Thence North 70°34'48" West 8.34 feet; Thence Southeasterly on a 10.00 foot radius curve to the right, the center of which bears South 19°25'12" West through a central angle of 105°14'27", an arc distance of 18.37 feet; Thence South 34°39'39" West 30.62 feet; Thence on a 30.00 foot radius curve to the left, through a central angle of 56°12'01", an arc distance of 29.43 feet; Thence South 21°32'22" East 16.06 feet; Thence on a 100.00 foot radius curve to the right, through a central angle of 23°49'13", an arc distance of 41.57 feet; Thence South 02°16'51" West 417.63 feet to the Northerly right of way of NE Iverson Street; Thence along said right of way, South 88°10'52" East 89.74 feet to the true point of beginning.

UNIT YIELD / MIX

	STUDIO	1-BR	1-BR+D	2BR	2BR+	3BR	3BR+D	SUBTOTAL
BUILDING A:								
1ST/2ND FLR.	0	0	0	4	2	2	0	8
3RD FLR.	0	1	10	1	0	4	0	16
4TH FLR.	0	1	10	1	0	4	0	16
SUBTOTAL	0	2	20	6	2	10	0	40
BUILDING B:								
2ND FLR.	0	9	0	0	0	4	2	14
3RD FLR.	0	10	0	1	0	4	2	17
4TH FLR.	0	0	3	2	6	0	1	12
SUBTOTAL	0	19	3	3	6	8	5	44*

* Of the 44 proposed dwelling units, 22 are permitted by maximum density per PMC 18.70.040, and 22 are proposed as attached accessory dwelling units (AADU).

TOTAL DWELLING UNIT COUNT: 84

PARKING ANALYSIS

REQUIRED:

C1 ZONE: 1 / 300 SF commercial
 1.0 stall per studio or 1BR, 2.0 stalls per 2BR+; guest 1 stall per 8 DU'S residential

Minimum: 1,377 SF / 300 SF per stall = 4.59 = 5 stalls commercial
 (22 studio/1BR x 1.0 stalls) + (18 2BR+ x 2.0 stalls) + (40 units x 1/8 guest stall per unit)
 = 22+36+5 = 63 stalls = 63 stalls residential

63 residential stalls + 5 commercial stalls = **68 stalls required**

RH ZONE: Multifamily parking required: 1.5 stalls per unit (1.0 for studio or ADU) + 0.25 guest stall per unit
 minimum: (22 ADU x 1.25) + (22 x 1.75) = **66 stalls required**

PROVIDED:

Description	ASSOCIATED BLDG	COUNT
ADA	BLDG A	4
COMPACT	BLDG A	28
STANDARD	BLDG A	39

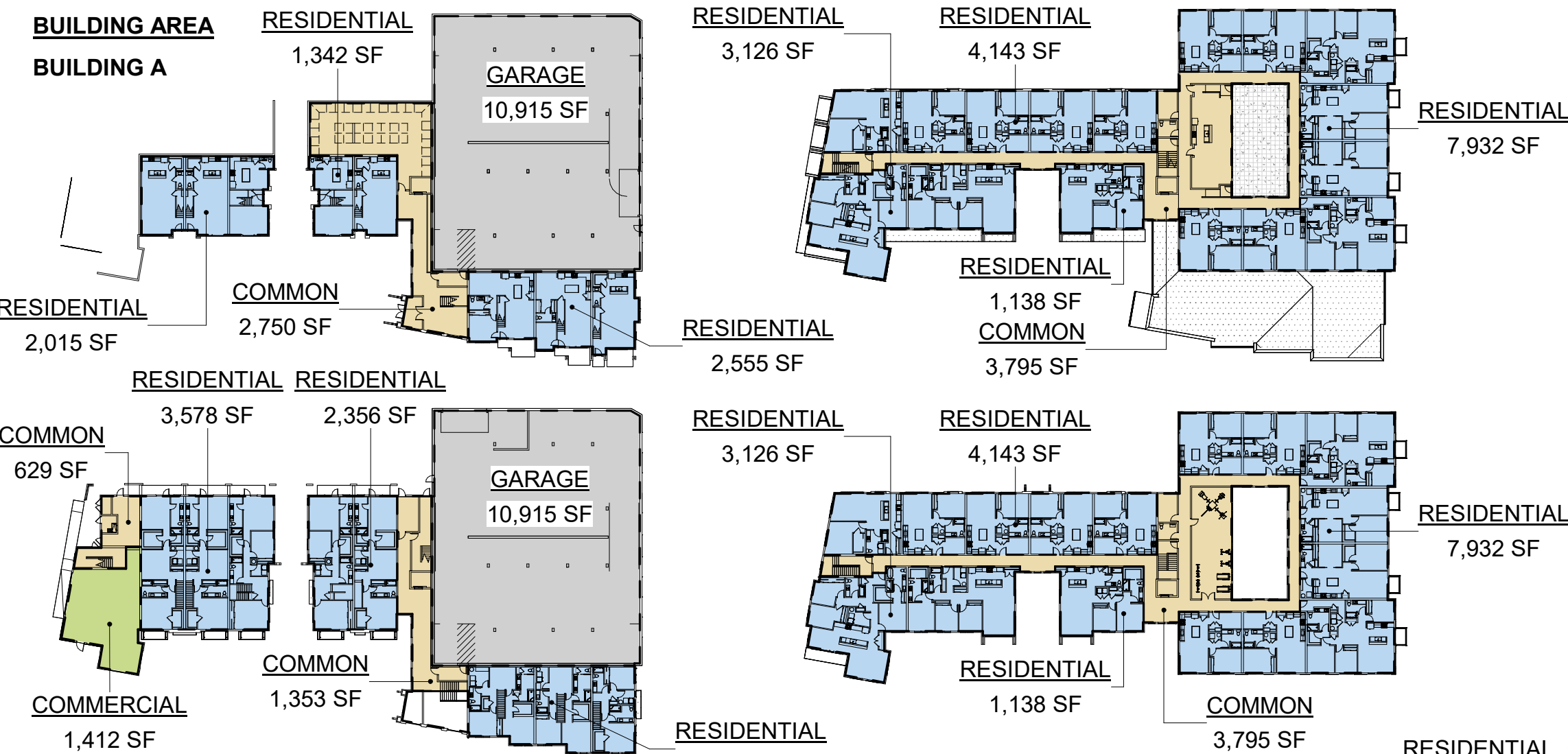
3 ADA REQUIRED WHEN
 51-75 STALLS PROVIDED
 (PER PARKING STRUCTURE)

		71
ADA	BLDG B	3
COMPACT	BLDG B	29
STANDARD	BLDG B	37

69

TOTAL 140

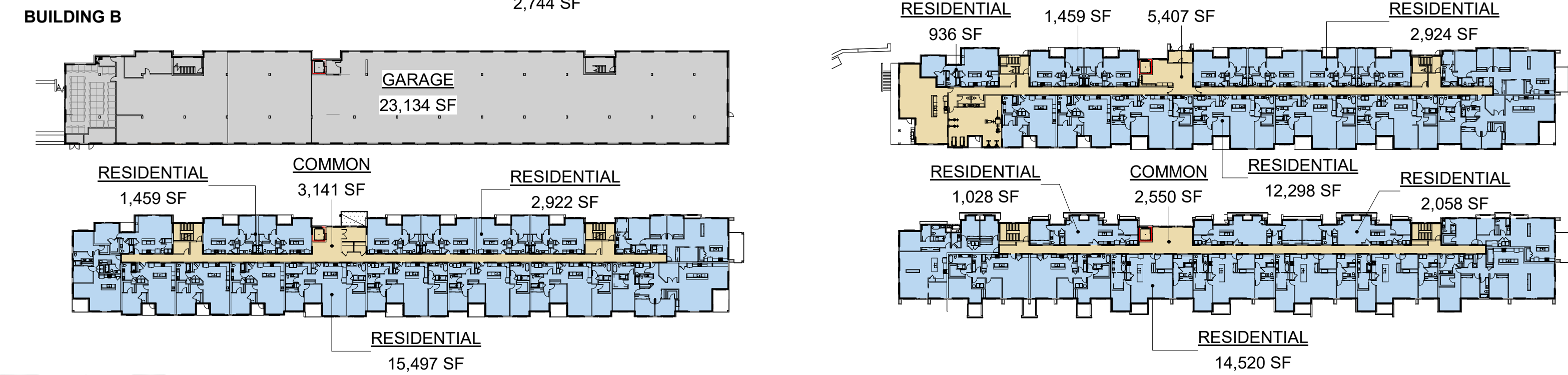


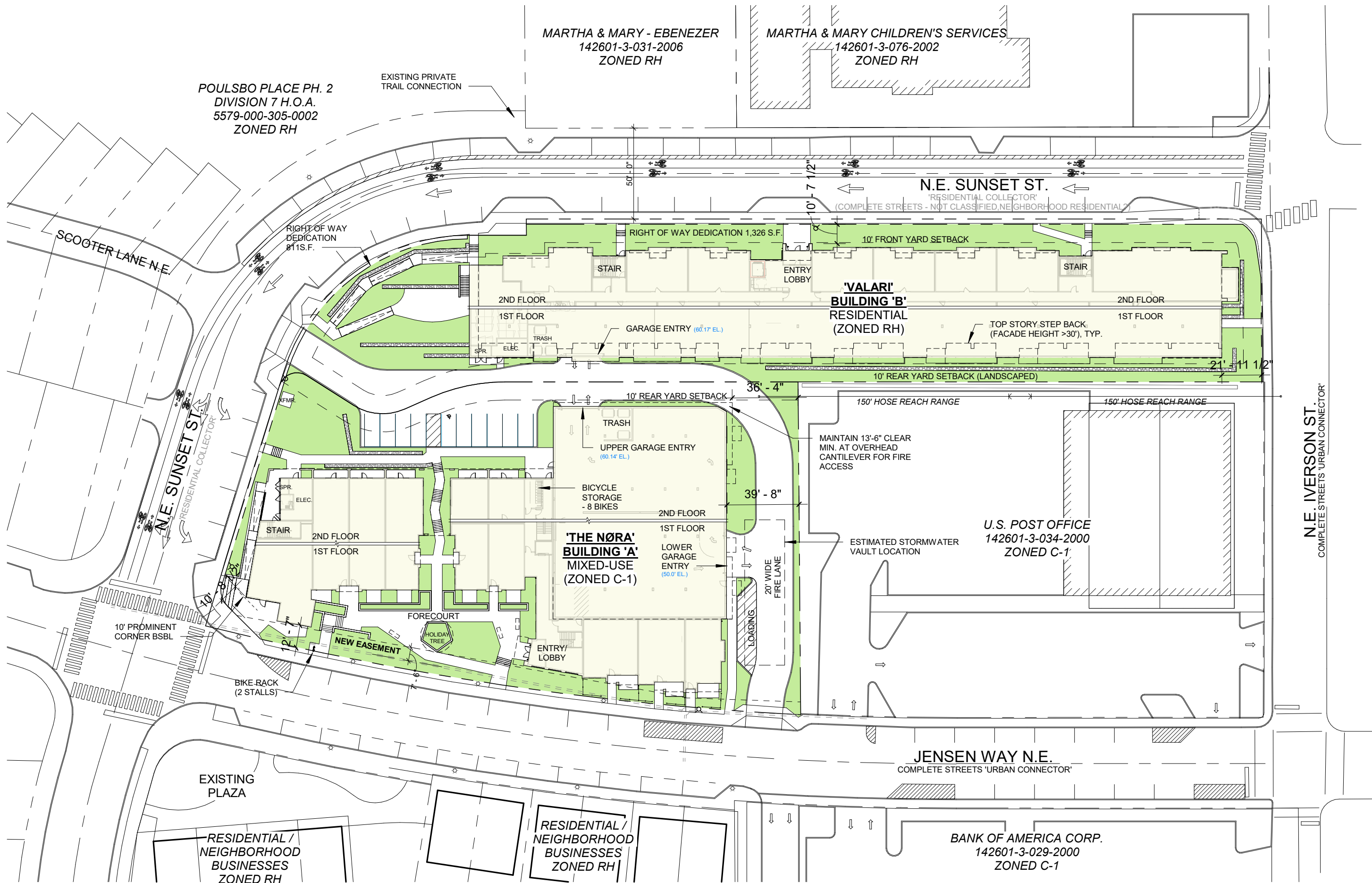


GROSS BUILDING AREA		
LEVEL	Level	AREA

BUILDING A		
COMMON	BLDG A - 1ST FLR.	2,750 SF
GARAGE	BLDG A - 1ST FLR.	10,915 SF
RESIDENTIAL	BLDG A - 1ST FLR.	5,912 SF
COMMERCIAL	BLDG A - 2ND FLR.	1,412 SF
COMMON	BLDG A - 2ND FLR.	1,981 SF
GARAGE	BLDG A - 2ND FLR.	10,915 SF
RESIDENTIAL	BLDG A - 2ND FLR.	8,679 SF
COMMON	BLDG A - 3RD FLR.	3,795 SF
RESIDENTIAL	BLDG A - 3RD FLR.	16,339 SF
COMMON	BLDG A - 4TH FLR.	3,795 SF
RESIDENTIAL	BLDG A - 4TH FLR.	16,339 SF
		82,833 SF

BUILDING B		
GARAGE	BLDG B - 1ST FLR.	23,134 SF
COMMON	BLDG B - 2ND FLR.	5,407 SF
RESIDENTIAL	BLDG B - 2ND FLR.	17,618 SF
COMMON	BLDG B - 3RD FLR.	3,141 SF
RESIDENTIAL	BLDG B - 3RD FLR.	19,878 SF
COMMON	BLDG B - 4TH FLR.	2,550 SF
RESIDENTIAL	BLDG B - 4TH FLR.	17,606 SF
		89,334 SF
		172,167 SF





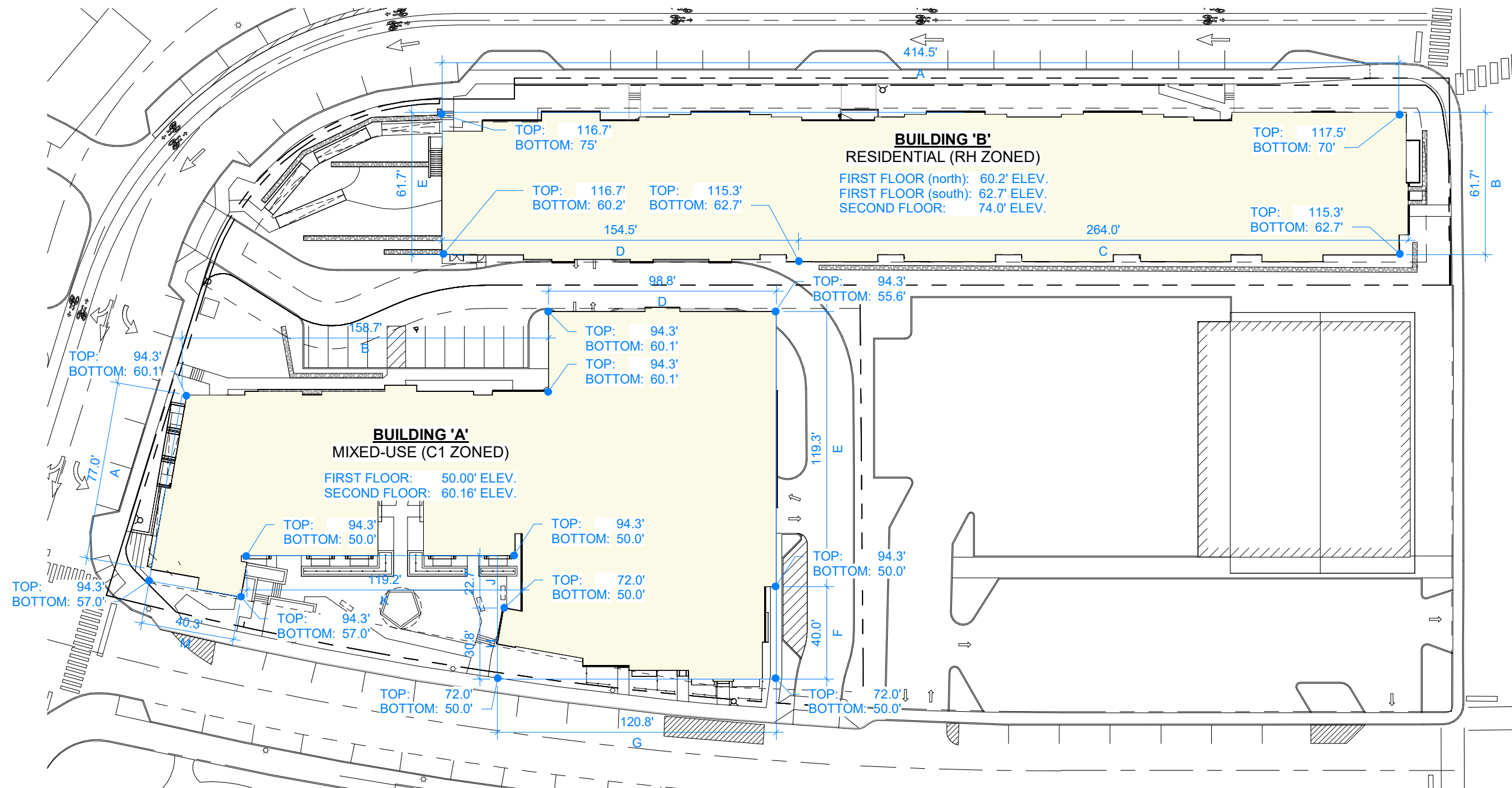
THE NØRA & VALARI RESIDENCES

ARCHITECTURAL SITE PLAN

5/26/26

SCALE: 1" = 50'-0" G-A04



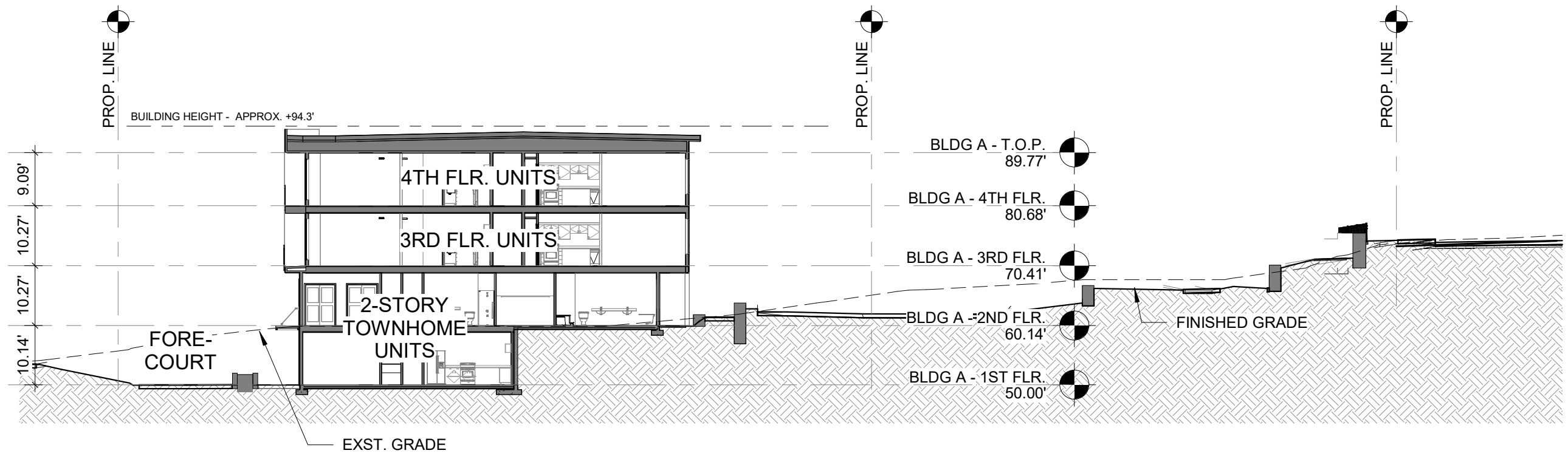


BLDG A		START GRADE	END GRADE	AVG GRADE	TOP	AVG HEIGHT	LENGTH	LxH
EAST	A	57.0	60.1	58.6	94.3	35.8	82.5	2949.4
EAST	B	60.1	60.1	60.1	94.3	34.2	158.7	5427.5
EAST	C	60.1	60.1	60.1	94.3	34.2	35.8	1224.4
SOUTH	D	60.1	55.6	57.9	94.3	36.5	98.8	3601.3
SOUTH	E	55.6	50.0	52.8	94.3	41.5	119.3	4951.0
WEST	F	50.0	50.0	50.0	72.0	22.0	40.0	880.0
WEST	G	50.0	50.0	50.0	72.0	22.0	120.8	2657.6
WEST	H	50.0	50.0	50.0	72.0	22.0	30.8	677.6
WEST	J	50.0	50.0	50.0	94.3	44.3	22.7	1005.6
WEST	K	50.0	50.0	50.0	94.3	44.3	119.2	5280.6
WEST	L	50.0	57.0	53.5	94.3	40.8	16.5	673.2
NORTH	M	57.0	57.0	57.0	94.3	37.3	40.3	1503.2
							885.4	30831.2
AVERAGE BLDG HEIGHT (35' MAX):								34.8

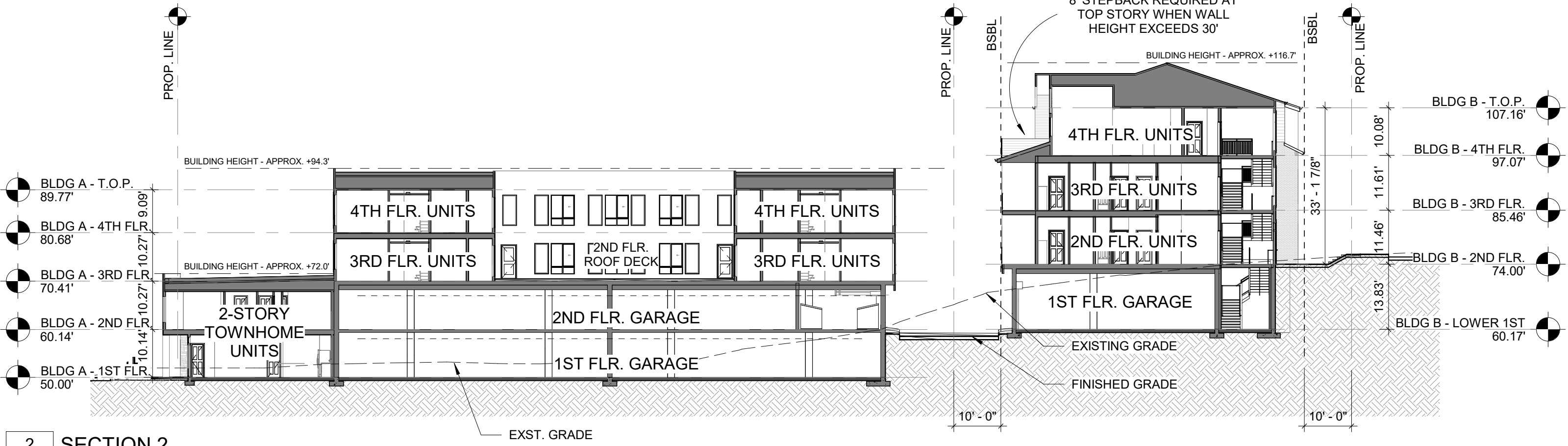
BLDG B		START GRADE	END GRADE	AVG GRADE	TOP	AVG HEIGHT	LENGTH	LxH
EAST	A	75.0	70.0	72.5	117.5	45.0	414.5	18669.1
SOUTH	B	70.0	62.7	66.4	116.7	50.4	60.4	3041.1
WEST	C	62.7	62.7	62.7	115.3	52.6	260.2	13694.3
WEST	D	62.7	60.2	61.5	116.7	55.3	154.5	8536.1
NORTH	E	60.2	75.0	67.6	116.7	49.1	61.7	3029.5
							951.3	46970.1
AVERAGE BLDG HEIGHT (50' MAX):								49.4

Building B height limit:
 35' base maximum building height per PMC 18.70.060 + 10' bonus height per PMC 18.310.010 (C) for under-building parking.
 +5' bonus height for pitched roofs with a minimum slope of 4:12 per PMC 18.70.050 (B)

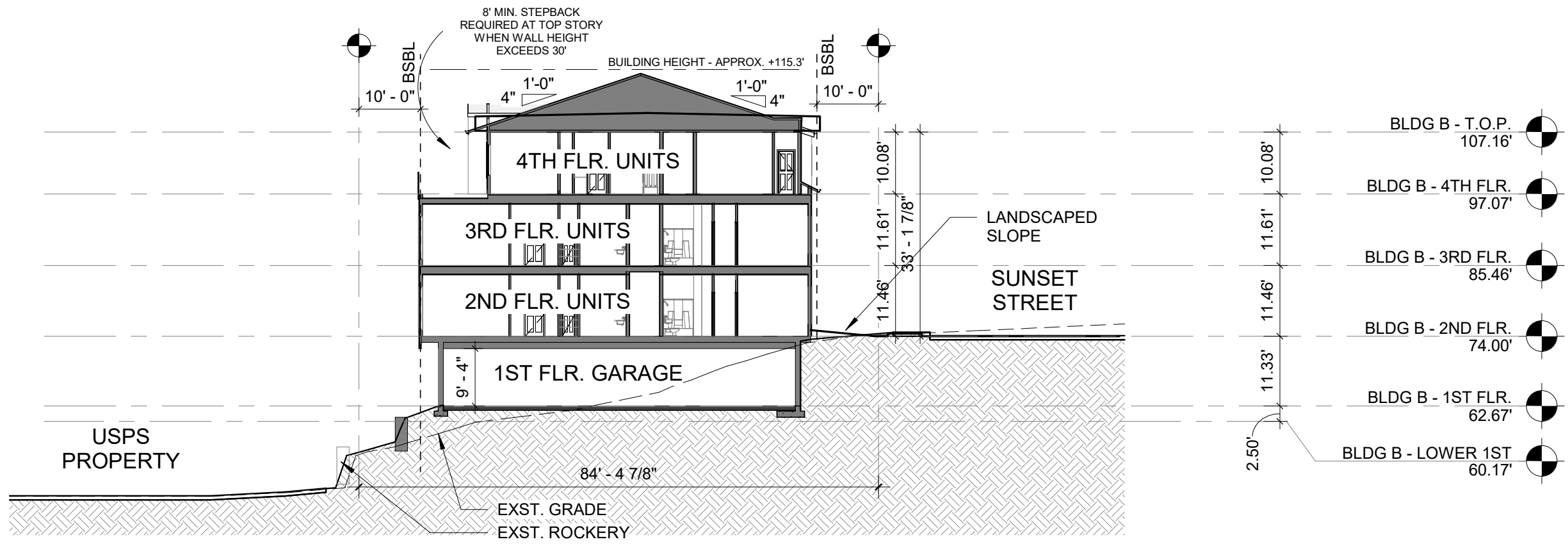




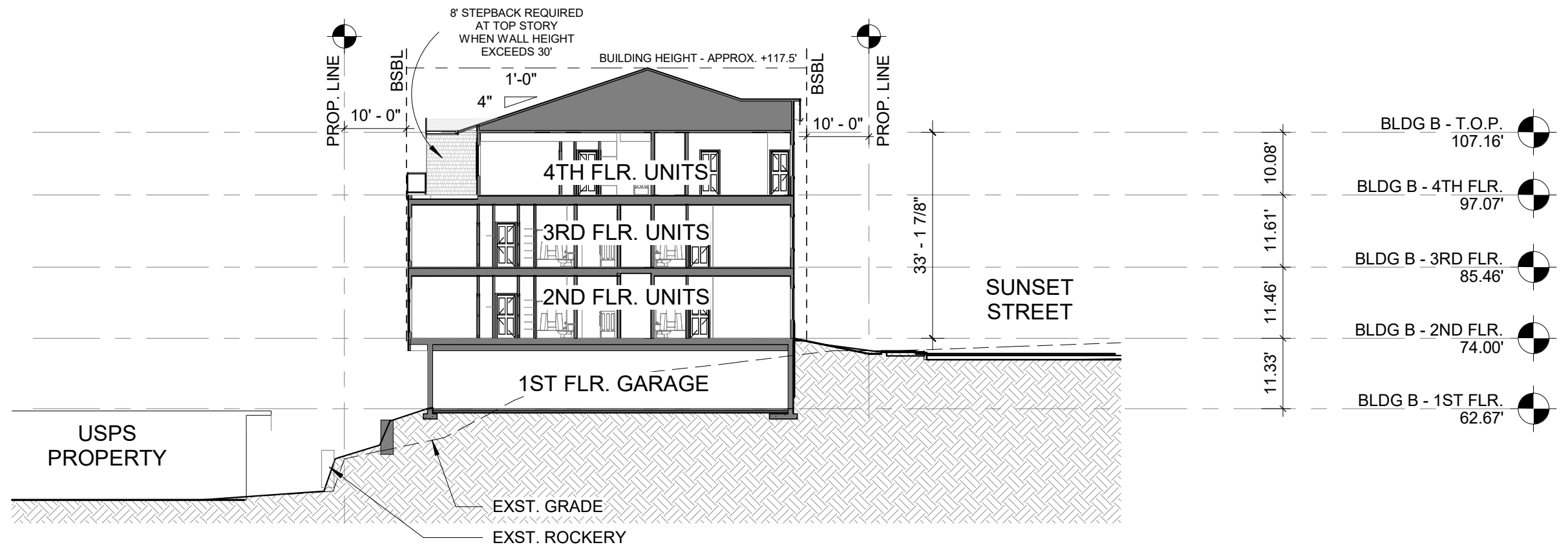
1 SECTION 1
G-A06 1" = 20'-0"



2 SECTION 2
G-A06 1" = 20'-0"



1 SECTION 3
G-A07 1" = 20'-0"

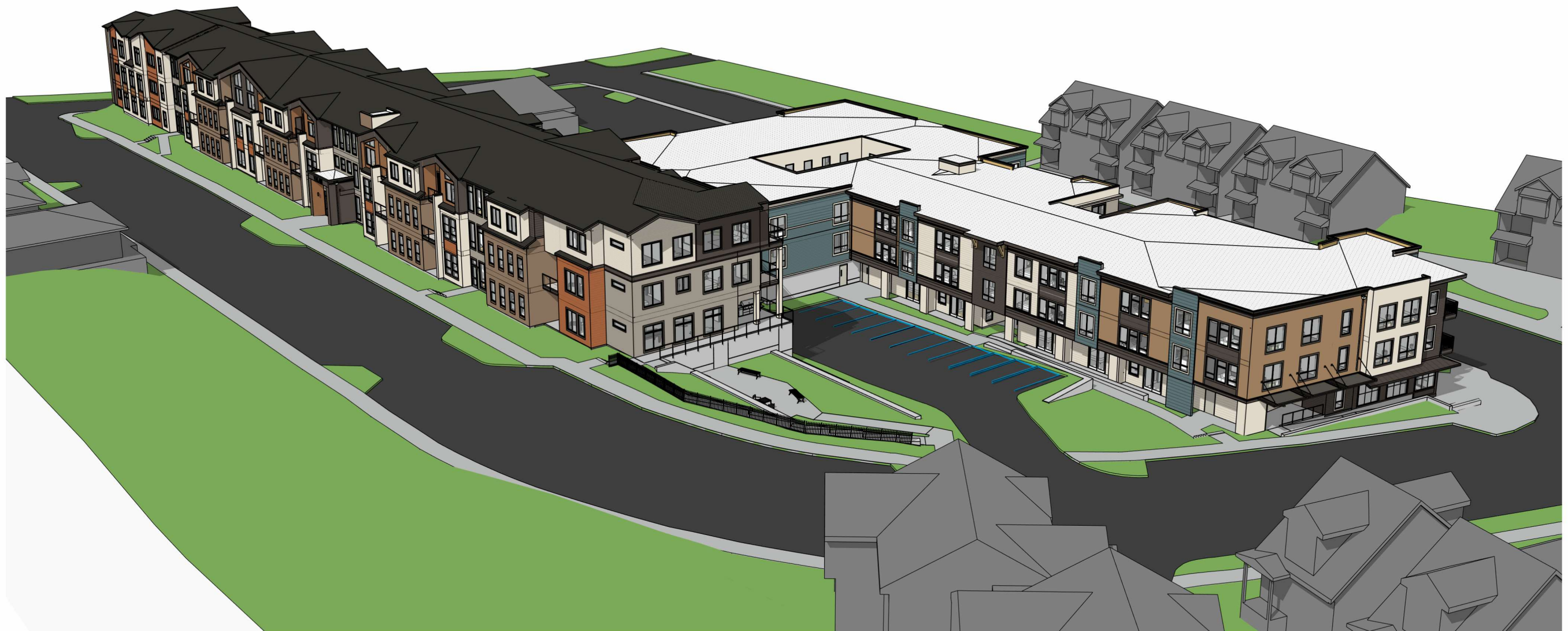


2 SECTION 4
G-A07 1" = 20'-0"











THE NØRA & VALARI RESIDENCES

AERIAL PERSPECTIVE

5/26/26

SCALE: G-A12





THE NØRA & VALARI RESIDENCES

AERIAL PERSPECTIVE

5/26/26

SCALE: G-A14

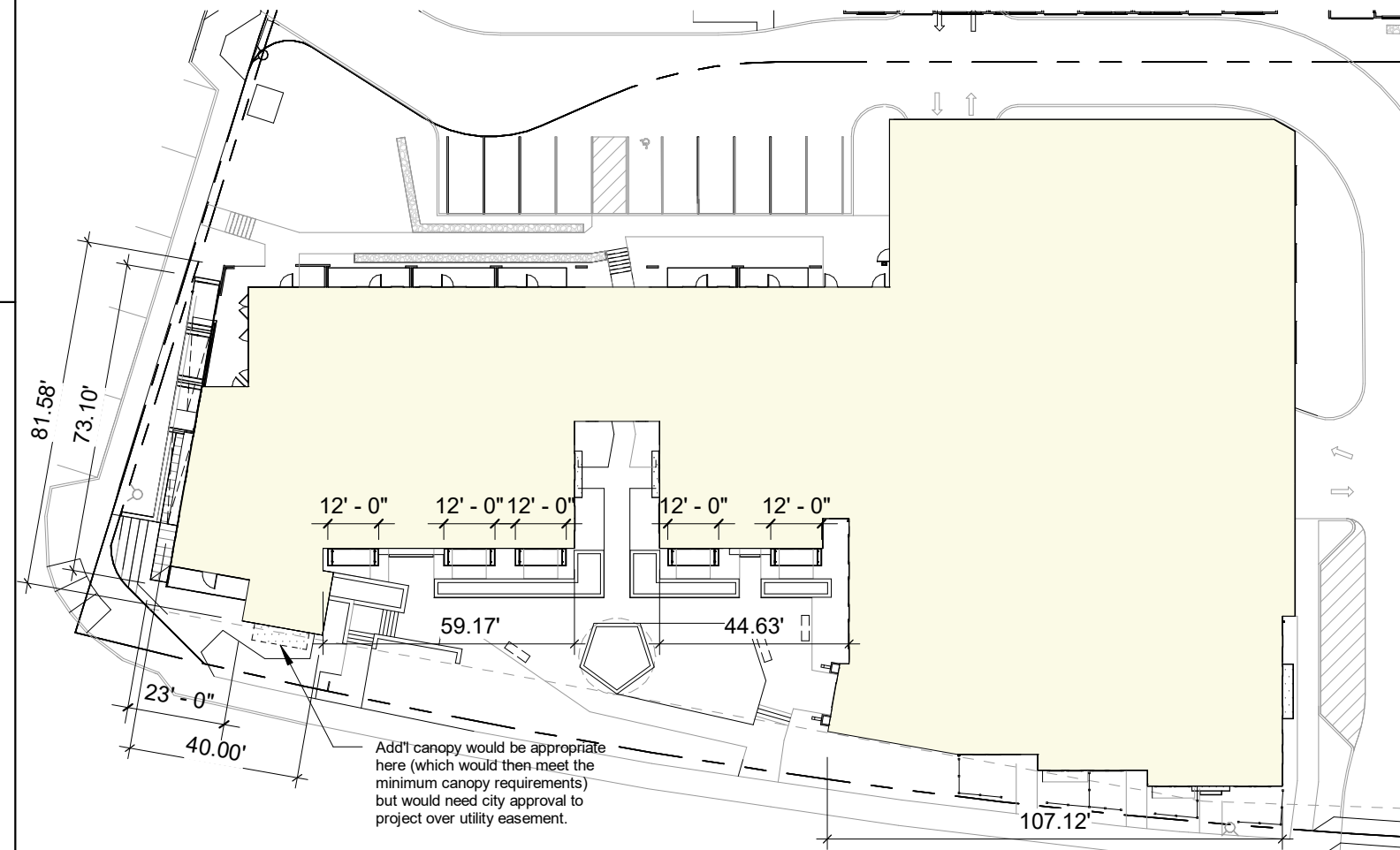


ZONING & DESIGN STANDARDS - for C-1 DOWNTOWN

ARCH / ZONING STANDARD	REQUIREMENT	COMPLIANCE STRATEGY	ARCH / ZONING STANDARD	REQUIREMENT	COMPLIANCE STRATEGY
<i>BUILDING HEIGHT</i>	18.80.040: 35' - Vertical distance measured from the avg elevation of the finished grade at an exterior building wall segment to the highest point of the segment. The overall height shall be the average of all building sides.	Building height calculations and diagram are included on sheet G-A05 calling out finish grades and highest points of each elevation segment with the average of all sides coming in at 35'.	<i>BUILDING DESIGN</i> 18.80.050 B	Prominent Corners. Buildings on corner lots shall have a strong building form and prominent design elements that are oriented toward the primary intersection. Entry is not required at the corner, but strongly encouraged. Buildings shall be set back 10' from the corner.	Commercial entry is provided at the street corner and is set back 10', as diagramed in the architectural site plan. For privacy and safety, the main residential entry is located off the parking garage levels and a separate entrance off the plaza.
	18.310.010: Exceptions to ht limits include rooftop mechanical equipment and screening, chimneys, etc. Stair and elevator overruns/access can extend 10' above ht limit and must be set back 15' from all street facing roof edges. Total coverage of all features shall not exceed fifteen percent of the roof area	An elevator overrun does protrude above the average height but is less than 10' and is set back >15' from roof edges.		Building Articulation. Any new building facades publicly visible from a street or parking area shall include articulation features that create a pattern of smaller storefronts to reduce the scale of the building, and/or add visual interest. Multiple articulation methods shall be used, including window patterns, weather protection features, offsets, recesses, staggered walls, stepped walls, pitched or stepped rooflines, overhangs and other elements of the building's mass.	The street elevations have both vertical and horizontal articulation, including larger step-backs at the SW corner and at the forecourt to reduce the visual scale of the building from the street and sidewalk as well as creating interest and variety. Individual unit entries also have modulation elements or staggered facades to help create privacy and a more residential-scaled entrance area.
<i>SITE DESIGN</i> 18.80.050 A	Buildings shall be located adjacent to the front property line or sidewalk, or if set back the area between the building and sidewalk shall be usable pedestrian-oriented space, such as outside dining, courtyard or forecourt, public square or plaza, or landscaped open space (which shall be paved in a decorative brick or textured concrete). Entrances to retail spaces shall be directly from the sidewalk.	Where fronting Jensen Way NE, the building facade is brought up against a new utility easement, adjacent to the west property line. Commercial space at the Jensen-Sunset intersection is accessed directly off the sidewalk via a small proposed entrance plaza.	Architectural Features. All new or redeveloped buildings shall be enhanced with appropriate details and employ at least one detail element from each of the three categories below for each facade facing a public right-of-way or parking area: 1. Window and/or Entry Treatment. <ul style="list-style-type: none"> • Display windows divided into a grid of multiple panes; • Transom windows; • Roll-up windows/doors; • Recessed entry; • Decorative door; • Prominent, projecting sills on storefront display windows 2. Building Elements and Facade Details. <ul style="list-style-type: none"> • Decorative, custom hanging sign(s); • Decorative building-mounted light fixtures; • Bay windows, trellises, towers, and similar elements; • Raised panels below storefront windows; • Pilasters with banding, belt courses, insets, reveals or other details; • Ornamental tile or metal work 3. Building Materials and Other Facade Elements. <ul style="list-style-type: none"> • Masonry soldier course; • Decorative medallions; • Artwork on walls, columns, pilasters or other surfaces; • Decorative kick-plate, pier, belt course, or another similar feature; • Hand-crafted material, such as special wrought iron or carved wood; • Hanging baskets supported by ornamental brackets Storefront construction shall be a minimum of forty percent (40%) transparent glass with a maximum of eighty percent (80%) transparency on ground floor/street-facing facades and as allowed by the IBC.	The following features have been integrated on public facing facades: 1. Windows are divided into multiple panes and some transoms are included along the ground floor. Many residential entries have also been recessed and include decorative doors. 2. The building will include some decorative building-mounted lighting around the commercial space and main resident entry. Other lighting will include smaller fixtures at resident patios or decks. There are also a mixture of elements used throughout such as bay windows, distinctive insets or framing around resident entries, pilasters, built-up trim and banding 3. Facade elements include soldier courses along masonry walls and decorative belt courses, bellybands and other trim elements. All facades at the commercial space fronting the Jensen-Sunset corner are designed for 40% minimum transparency, as indicated in building elevations.	
	Parking. All parking shall be located to the rear or side of the building(s), undergrade, or underbuilding.	Parking is proposed at an underbuilding parking garage and surface lot at the rear.			
	Vehicular Access. The width of curb cuts shall be the minimum necessary to allow for two-way access. Curb cuts shall be located away from intersections and designed to minimize pedestrian and vehicle conflicts.	Curb cuts are located in approximately the same locations as existing curb cuts and are sized to accommodate two-way and firetruck access and are the farthest points away from the prominent corner.			
	Pedestrian Access. The primary pedestrian access to sites and buildings shall be from a public street sidewalk. Pedestrian gathering places should be integrated with pedestrian entrances, crossings, and pathways.	Pedestrian walkways are provided through the site and connect the rear drive aisle and surface parking with building entries, a proposed forecourt, and the sidewalk along Jensen Way NE.			
	Connections. Sites shall be designed to allow pedestrian and vehicular connections to adjacent lots where feasible.	Pedestrian walkways are provided through the site, connecting the Jensen frontage through to the proposed Building B project. Vehicular connection is shared between the two buildings with a common drive aisle.			
	Elements, such as building design features, landscaping features, art, street and pedestrian lighting, public seating areas, shall be incorporated that connect and unify, without becoming homogeneous, the character and sense of place of the C-1 district and/or downtown Poulsbo.	The building wraps a semi-public forecourt which includes pedestrian lighting, seating areas and landscaping features to create a public gathering area			
	Hardscape shall be incorporated in the form of benches/sitting areas, steps, boulders, plazas, curbing and short walls, terracing, art features, pedestrian lighting, and other elements.	A public plaza/forecourt has been designed to allow for seating/benches alongside larger congregation areas as well as raised planting areas.			

ARCH / ZONING STANDARD	REQUIREMENT	COMPLIANCE STRATEGY	ARCH / ZONING STANDARD	REQUIREMENT	COMPLIANCE STRATEGY
BUILDING DESIGN 18.80.050 B cont.	Blank Walls. Walls publicly visible from a public right-of-way or parking area shall have windows, reveals, or architectural details. If a blank wall of >15' is unavoidable, incorporations of landscaping, artwork (mosaic, mural, sculpture), unique building detail at the pedestrian scale, or high-quality building materials needs to be utilized.	There will be a blank wall partially visible along the south elevation that will be broken up by reveals, applied material changes and other architectural details. In addition, a variety of landscaping will be used for visual interest.	MIXED USE 18.80.080 J	<p>Development Standards.</p> <ul style="list-style-type: none"> A mixed-use structure shall contain at least two uses (such as offices, retail, professional services, food and beverage, entertainment, public service and residential). Any underbuilding parking located on the street level floor shall have an intervening permitted use between the street and the parking. Commercial uses located on the ground floor shall have a prominent entrance facing the primary street, provide use and activity presence along the street frontage, and be designed to clearly define it as commercial space. At least one outdoor activity feature shall be provided for the mixed-use building, including but not limited to courtyards, delineated gathering spaces, or seating areas. These areas must be paved and landscaped. Private or shared open space shall be provided for each of the residential units, such as a private outdoor balcony or rooftop deck, and shall be provided at a minimum of thirty-eight square feet per unit. 	<p>The proposed project includes residential units and a ground floor commercial space fronting the intersection of Jensen and Sunset. It incorporates massing and architectural elements to distinguish from the rest of the building. The project also includes two levels of underground parking, each accessible off an internal drive aisle.</p> <p>A 4170 sf paved and landscaped forecourt area is located adjacent to the Jensen Way frontage and will include pedestrian seating and lighting. Also, a 1250 sf shared resident-only rooftop terrace is provided at the 3rd floor outside the resident club room. In addition, 12 units have private balconies and 8 townhouse style units have private entry yards or porches.</p> <p>Required: 40 units x 38 sf = 1520 sf total Provided: 4170 + 1250 = 5420 sf</p>
	Roof Expression. Structures shall have a visual "cap" incl extended eaves; steep pitch hip, gable or saltbox roof form; or projecting cornice of appropriate scale to the building and part of building's trim detail. Buildings with flat roofs shall have portions with pitched roofs, extended parapets or projecting cornices to create a prominent edge when viewed from public rights-of-way or parking areas.	Primarily flat roofs are proposed for the building but stepping parapet heights, projecting cornices and extended eaves in some portions are being used to provide variety and interest to the roof line.			
	Canopies or awnings shall be required on street-facing facades along public streets for at least fifty percent (50%) of the building's length, may overhang right-of-way, and do not need to be continuous. <ul style="list-style-type: none"> The design of the canopies/awnings shall be an integral component of the building facade design. The canopies/awnings shall be at least eight feet above the sidewalk, but no more than twelve feet. The minimum depth projecting from the wall shall be four feet. Canopies/awnings must be designed so that water running off the canopy/awning does not occur in the clear walkway area. Canopies/awnings shall be constructed of permanent, durable materials (but not synthetic fabrics) and shall not be internally illuminated. If used, hanging signs may be hung under the canopy/awning and shall have a clearance of eight feet above the sidewalk. 	The project seeks a design deviation on this standard. See the canopy diagram on the following sheet.			
BUILDING DESIGN 18.80.060 A	Materials/Color: Exterior materials must contain but not limited to 2 of the following: wood/f.c. horizontal lap siding (of any lap design), cedar/f.c. shingles, board and batten (or panels with similarly spaced battens), brick, or stone (real or cultured). Metal siding shall have visible corner moldings and trim and shall not extend lower than two feet above grade. Masonry, concrete, or other durable material shall be incorporated between the siding and the ground plane. Metal siding may be used only in conjunction with other approved materials and may comprise no more than twenty-five percent of facades facing public rights-of-way, parking areas, or landscaping. Concrete block may comprise no more than fifty-five percent of a facade facing a public right-of-way, parking areas, or landscaping. Concrete block shall include changes in textures and shapes, colors, and/or other masonry materials to add visual interest. Base building colors are limited to natural earthtone colors. Trim and secondary colors may be lighter or darker shades of the main color but shall not be bright or bold, white is ok. Accent colors can be brighter than base or trim colors and shall be limited to highlighting finer architectural details and are limited to 15% of the facade area. Bright, high contrast color that is not a variation of the base or trim colors is limited to maximum two inches in width.	Multiple materials are proposed including fiber cement lap siding, f.c. shingle siding, f.c. panel siding, adhered brick and adhered stone.	PARKING REQ'S 18.80.100 B 18.140.040 18.140.050 18.140.060	<p>Accessory Spaces. Uses accessory to the residential, such as lobby, fitness center, storage, community room and other accepted uses, may be located on the street level ground floor, and shall generally be located behind the street level commercial uses.</p> <p>Retail/office/restaurant/prof svcs = 1 space per 300 gsf Residential: Studio/1bd = 1 space. 2+ bd = 2 spaces. Additional guest spaces = 1 per 8 units.</p> <p>Loading. No dedicated loading stalls are required for structures under twenty thousand square feet. One loading stall is required for structures above twenty thousand one square feet.</p> <p>Underbuilding Parking. When underbuilding parking is proposed, at least fifty percent of the site's total street frontage shall include square footage that is to be occupied by the building's primary use (not parking area).</p> <p>Standard stall size: 8x18 Compact stall size: 8x15 Columns may encroach 6" max and not in door opening area (5' from long. cl, 4' from transverse cl). (2) Two additional feet are required beyond the last parking space in an aisle.</p>	<p>A club room, roof terrace, and gym amenity spaces are provided for building residents at the third and fourth floors.</p> <p>68 parking stalls required 71 parking stalls provided</p> <p>Parking calc breakdowns provided on sheet G-A02.</p> <p>One 35' loading zone is provided at the south end near the 1st floor garage entrance.</p> <p>Both the 1st and 2nd floor garages are on the SE corner of the building away from the public street frontage. All parking stalls comply with size, spacing and location requirements.</p>
		Color palette incorporates neutrals and muted earth-tone colors. See sheet A-A10 for specifics.			

ARCH / ZONING STANDARD	REQUIREMENT	COMPLIANCE STRATEGY
PARKING REQ'S 18.80.100 B 18.140.040 18.140.050 18.140.060 cont.	<p>Minimum (2) bicycle spaces required, then (1) additional space for every (20) spaces; maximum number required shall not exceed (20) spaces.</p> <p>Bicycle facilities should be located no further from a public entrance than the nearest non-ADA parking stall.</p> <p>Bicycle parking areas should be separated from a motor vehicle parking area by a barrier, post or bollard, or by at least five feet of open space behind the maneuvering area.</p>	<p>71 total vehicle parking stalls $2 + 71 / 20$ bicycle rate = 6 stalls required (1) multi-hoop bicycle rack provided (9 bike capacity) indoors + (1) bike loop near commercial entrance (2 bike capacity)</p> <p>Bicycle parking pad located adjacent to commercial space, serving public use.</p> <p>Bicycle parking area is not adjacent to vehicle parking area.</p>



BUILDING CANOPY DIAGRAM

NOTE: SECOND FLOOR PLAN VIEW SHOWN.

SCALE: 1" = 40'-0"

P.M.C. 18.80.050.B.8 - STREET FRONTAGE CANOPIES

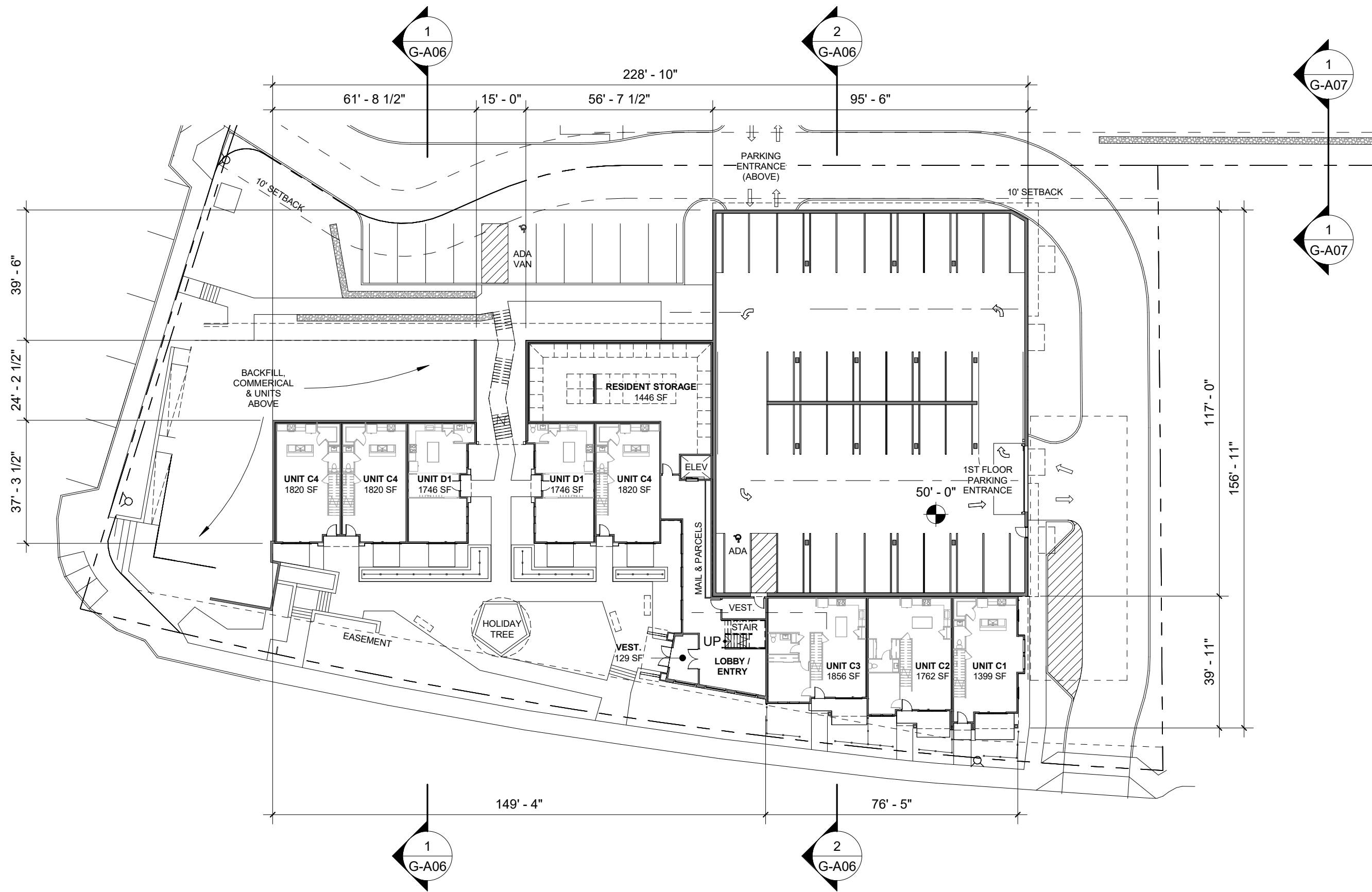
Canopies or awnings shall be required on street-facing facades along public streets for at least fifty percent (50%) of the building's length, may overhang right-of-way, and do not need to be continuous.

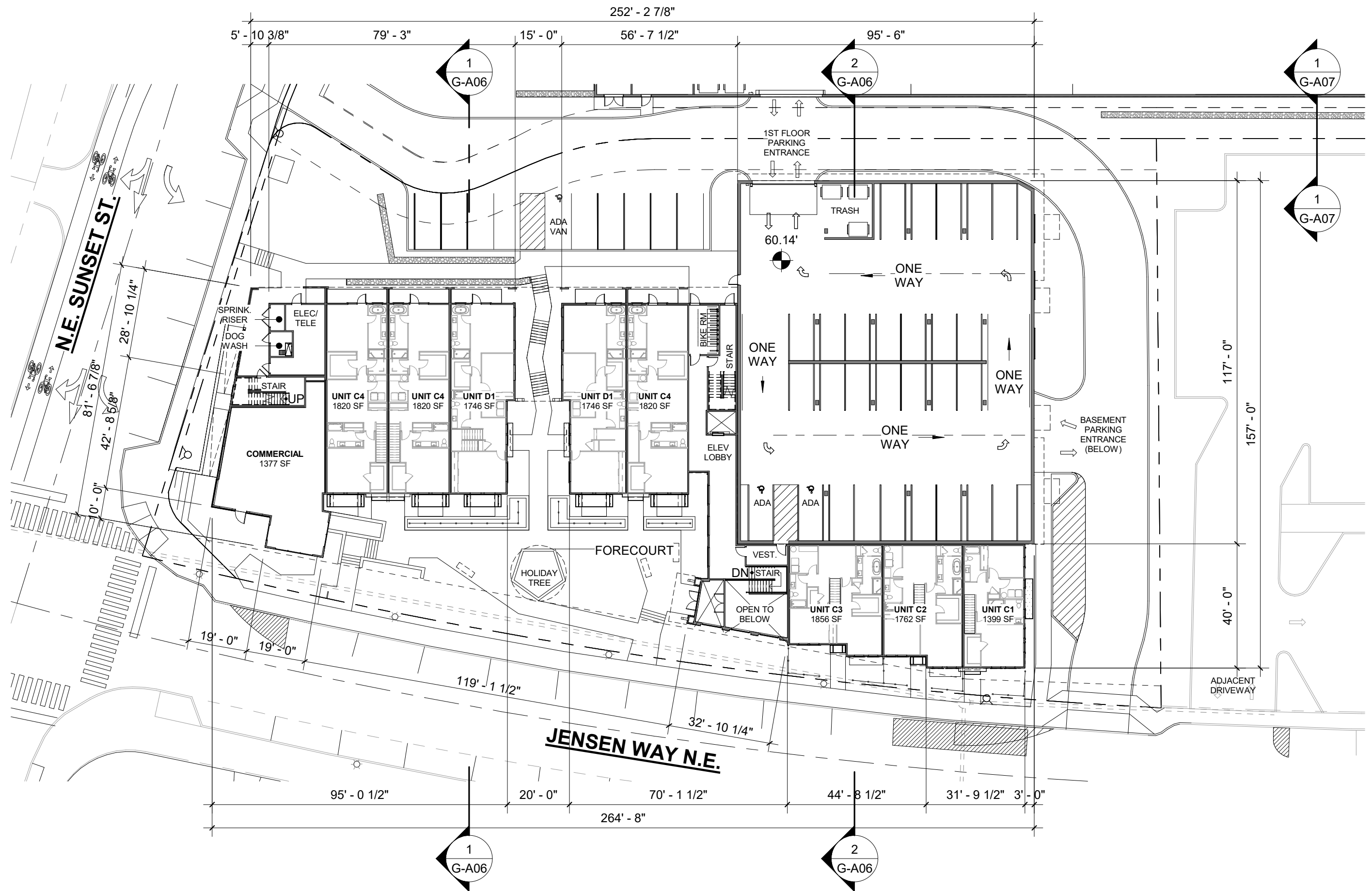
- The design of the canopies/awnings shall be an integral component of the building facade design.
- The canopies/awnings shall be at least **eight** feet above the sidewalk, but no more than **twelve** feet. The minimum depth projecting from the wall shall be **four** feet.
- Canopies/awnings must be designed so that water running off the canopy/awning does not occur in the clear walkway area.
- Canopies/awnings shall be constructed of permanent, durable materials (not synthetic fabrics) and shall not be internally illuminated.
- If used, hanging signs may be hung under the canopy/awning and shall have a clearance of eight feet above the sidewalk.

STREET-FACING FACADE LENGTH: $(81.6' + 40.0' + 59.2' + 44.6' + 107.1') = 332.5'$
 REQUIRED COMBINED CANOPY LENGTH: $332.5' \times 50\% = \mathbf{166.25'}$
 PROPOSED COMBINED CANOPY LENGTH: $(73.1' + 23' + 12' + 12' + 12' + 12' + 12') = \mathbf{156.1'}$

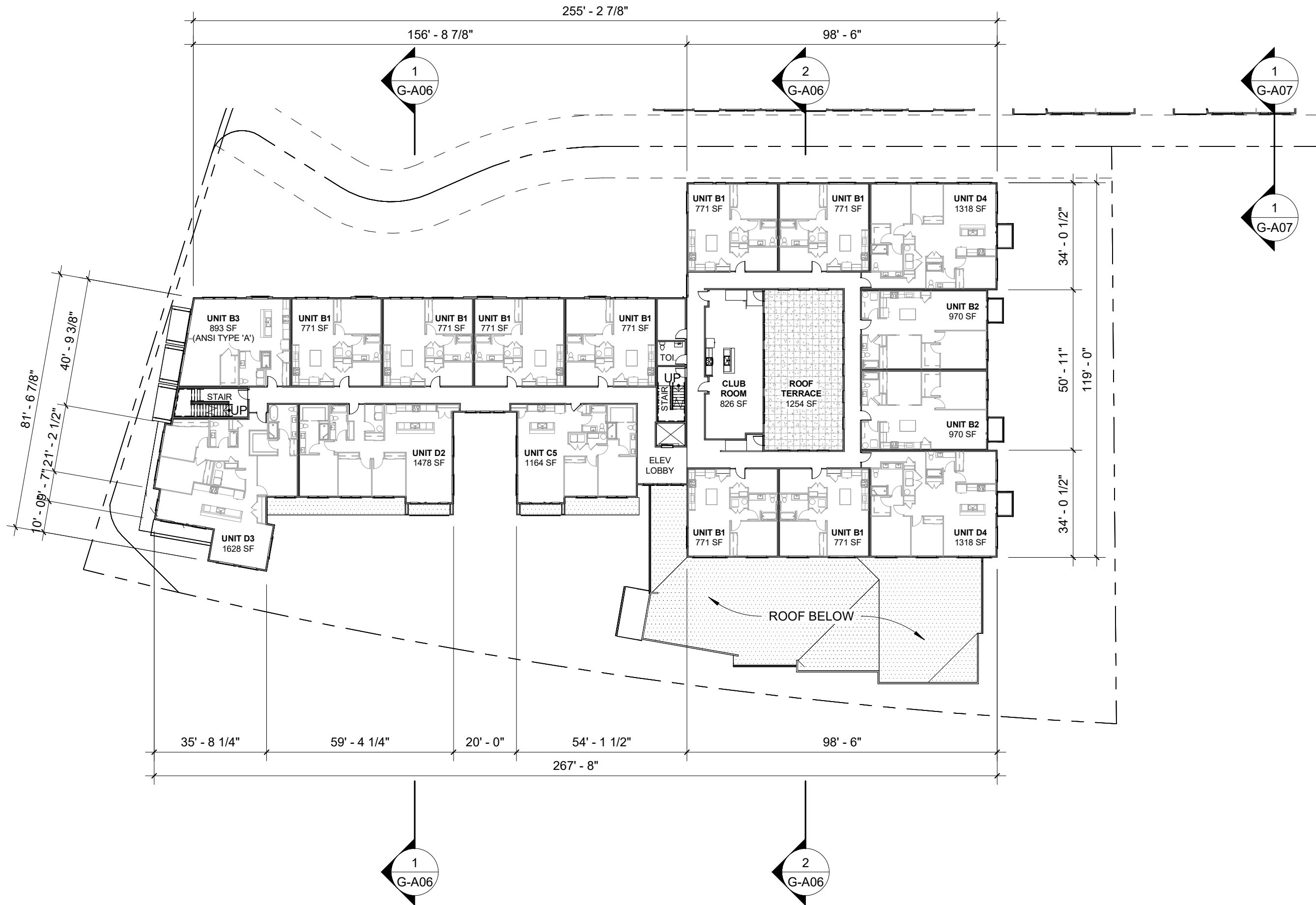
Proposed canopies do not meet minimum required length, so a variance is requested for the following reasons:

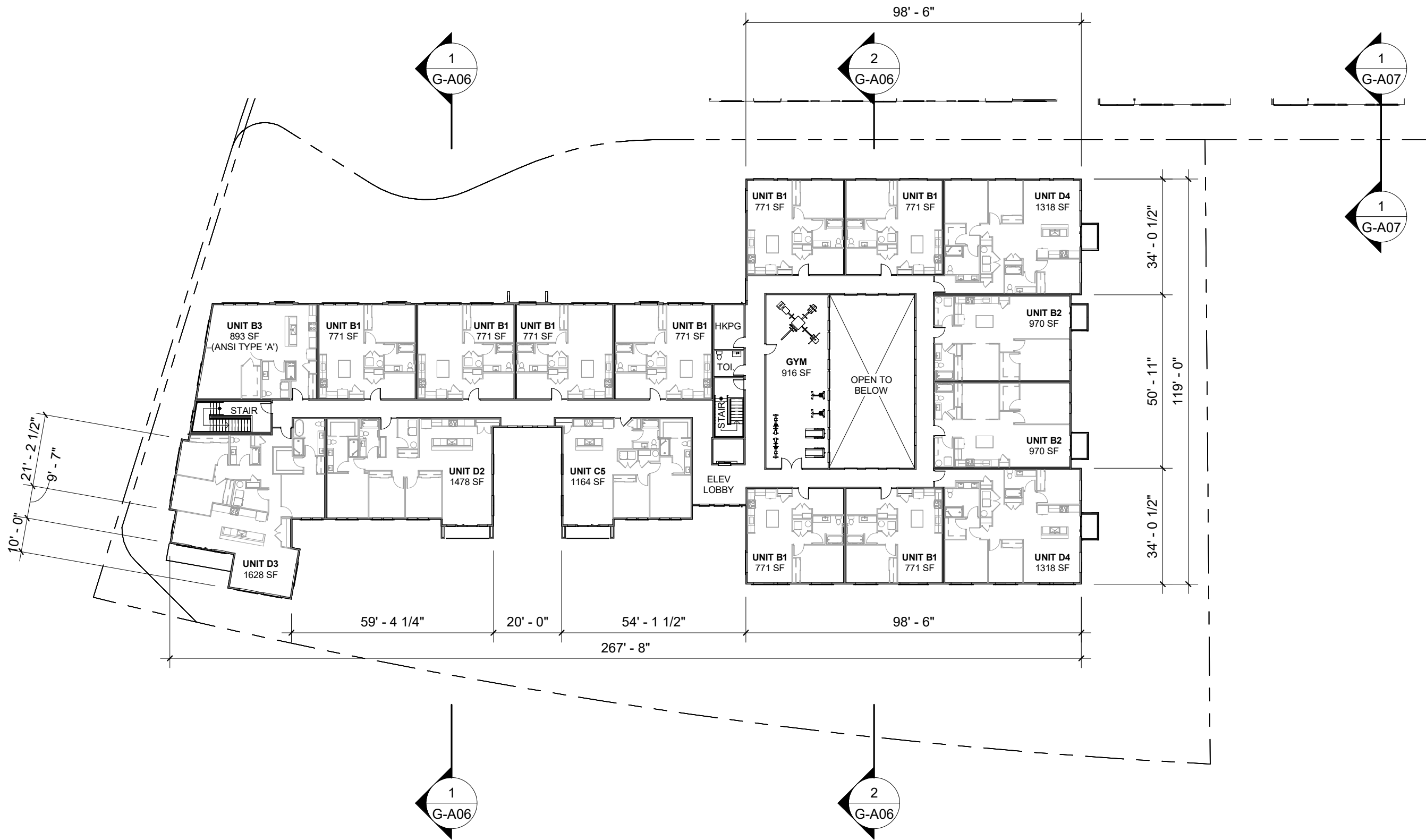
- Because of a necessary utility easement, a large portion of the west facade is not directly adjacent to sidewalk so canopies would not be providing coverage to walkable areas.
- Residential units surround the forecourt and most of the west facade, therefore proposed canopies are scaled down to match the use and provide coverage for individual units instead of public areas.
- The N.W. corner has utilized large portions of canopy to provide coverage for public-accessed walkways and to both give emphasis and better delineate the commercial space from the residential areas.





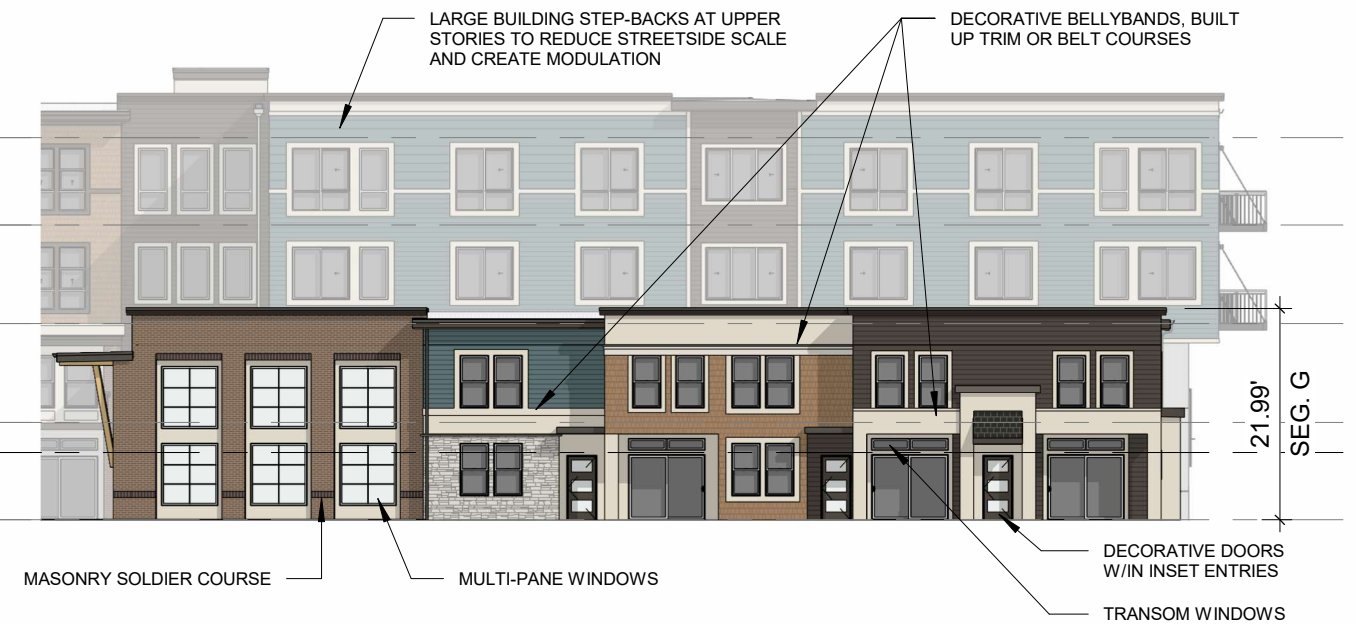
THE NØRA & VALARI RESIDENCES BUILDING 'A' - SECOND FLOOR PLAN



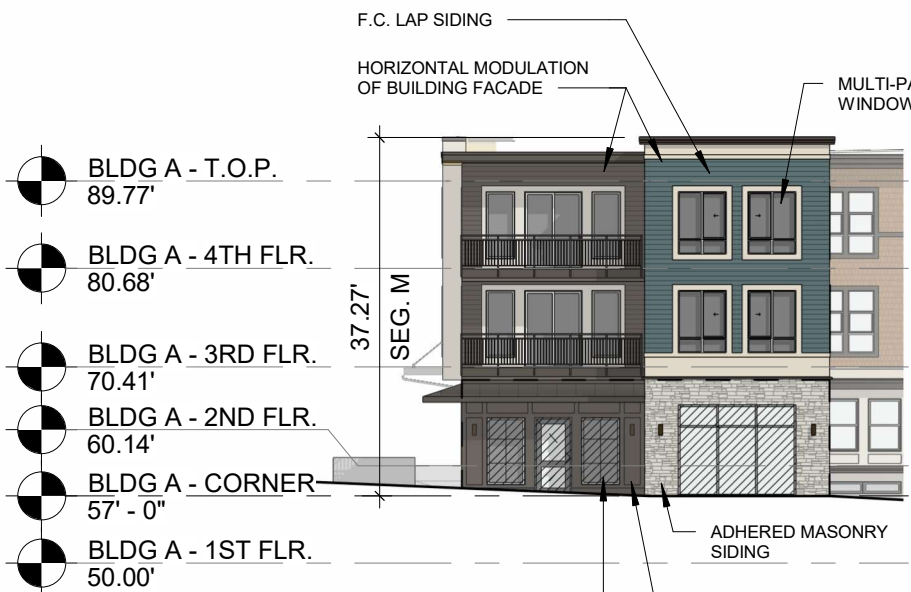




1 BUILDING A - WEST ELEVATION (CENTRAL PORTION)
1" = 20'-0"

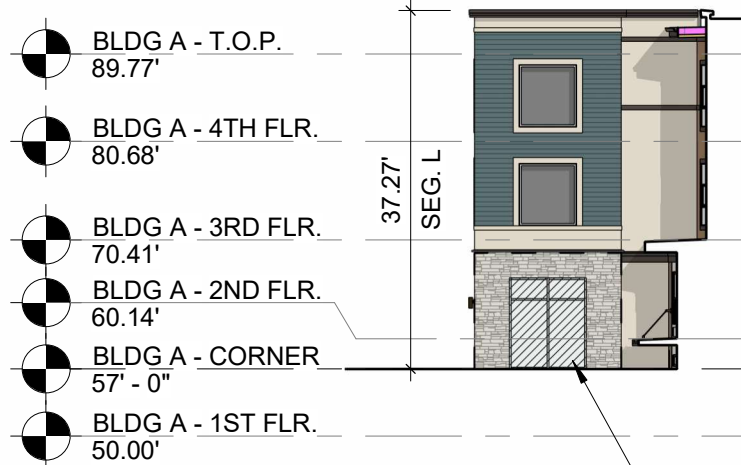


2 BUILDING A - WEST ELEVATION (SOUTH PORTION)
1" = 20'-0"



TRANSPARENT AREA (COMMERCIAL)
 FACADE AREA: 455 SQ. FT.
 (HEAVY DASH)
 TRANSP. REQ.: 40%/182 SQ. FT.
 TRANSP. PROPOSED: 44%/202 SQ. FT.
 (HATCHED)

3 BLDG. A - WEST (COMMERCIAL)
1" = 20'-0"



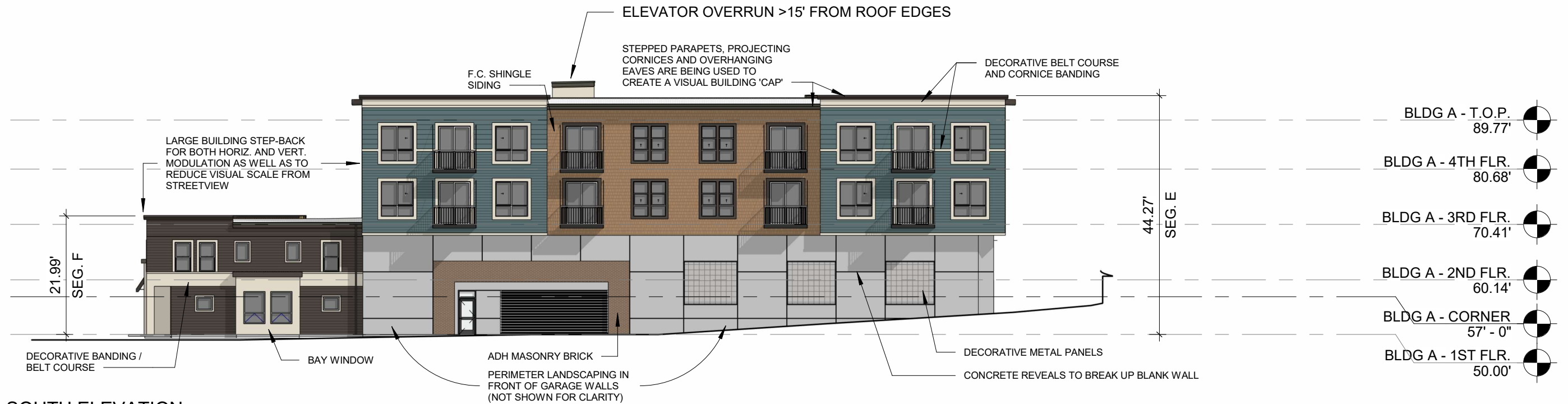
TRANSPARENT AREA (COMMERCIAL)
 FACADE AREA: 184 SQ. FT.
 (HEAVY DASH)
 TRANSP. REQ.: 40%/74 SQ. FT.
 TRANSP. PROPOSED: 41%/76 SQ. FT.
 (HATCHED)

4 BLDG. A - NORTH (COMMERCIAL)
1" = 20'-0"

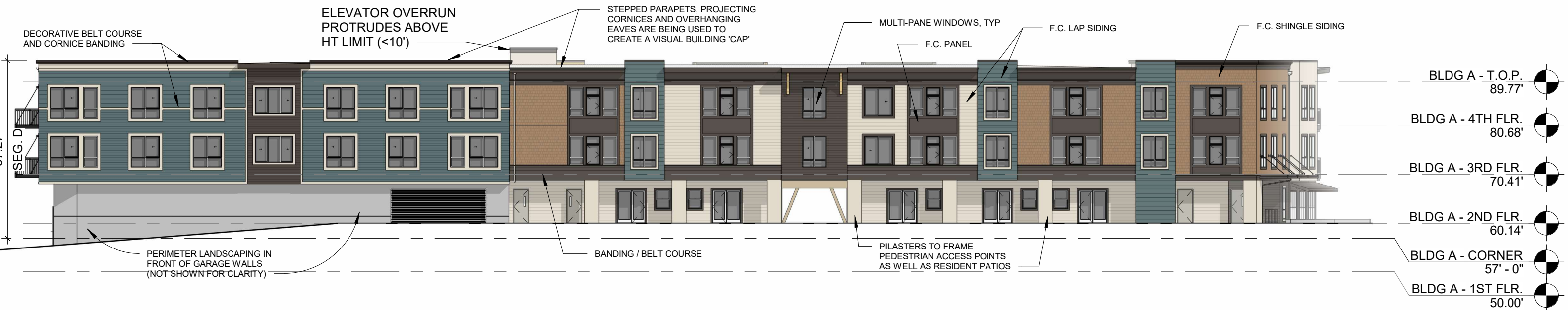


TRANSPARENT AREA (COMMERCIAL)
 FACADE AREA: 569 SQ. FT.
 (HEAVY DASH)
 TRANSP. REQ.: 40%/228 SQ. FT.
 TRANSP. PROP.: 41%/235 SQ. FT.
 (HATCHED)

5 BUILDING A - NORTH ELEVATION
1" = 20'-0"

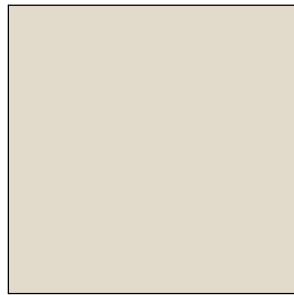


1 BUILDING A - SOUTH ELEVATION
1" = 20'-0"



2 BUILDING A - EAST ELEVATION
1" = 20'-0"

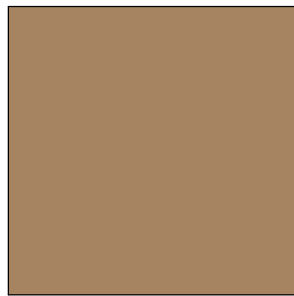
PAINT COLORS / MATERIALS



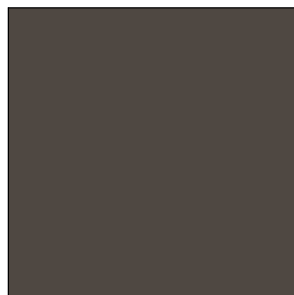
SW 7568 - NEUTRAL GROUND



SW 6222 - RIVERWAY



SW 9105 - ALMOND ROCA



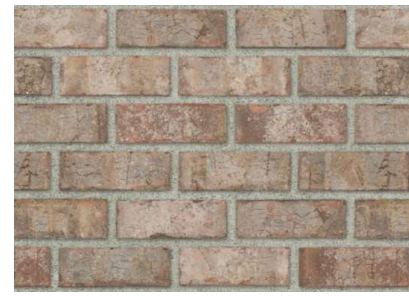
SW 7020 - BLACK FOX



Creative Mines Split Modular 5" - Powder



Brick-It Thin Brick Veneer - Alcazar Handmade



Alternate: Brick-It Thin Brick Veneer - Mudslide



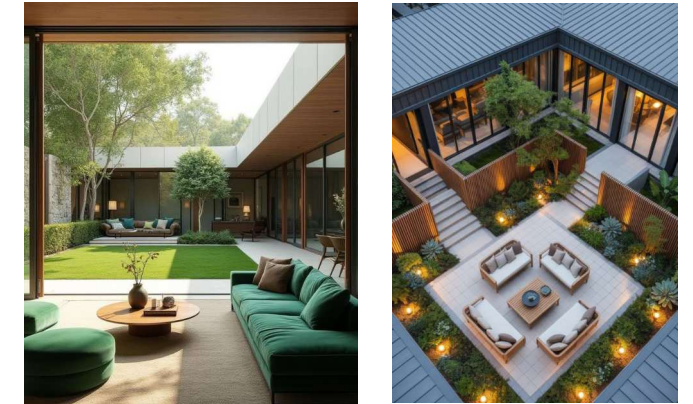
Lighting:
Simple conical or cylindrical lighting at building entrances and patios

INSPIRATIONAL IMAGERY

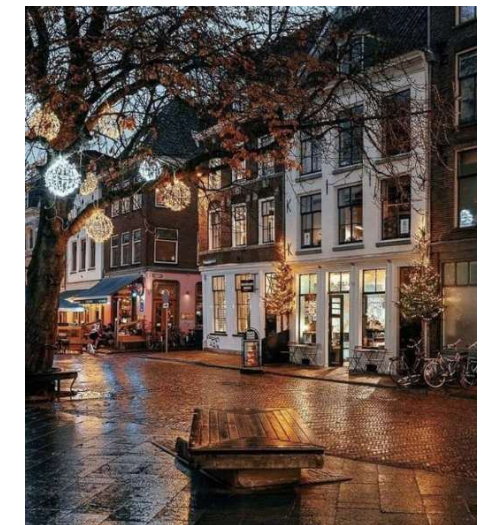
NEIGHBORHOOD CONTEXT:



Shared outdoor space for residents will include both the main plaza at ground level as well as a rooftop deck that is large enough for several seating/dining areas, a communal BBQ area and a mixture of hardscape and landscape planters



The building will wrap around a pedestrian friendly forecourt with townhouse style units separated from the public areas by semi-private entrance yards and planters.

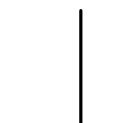
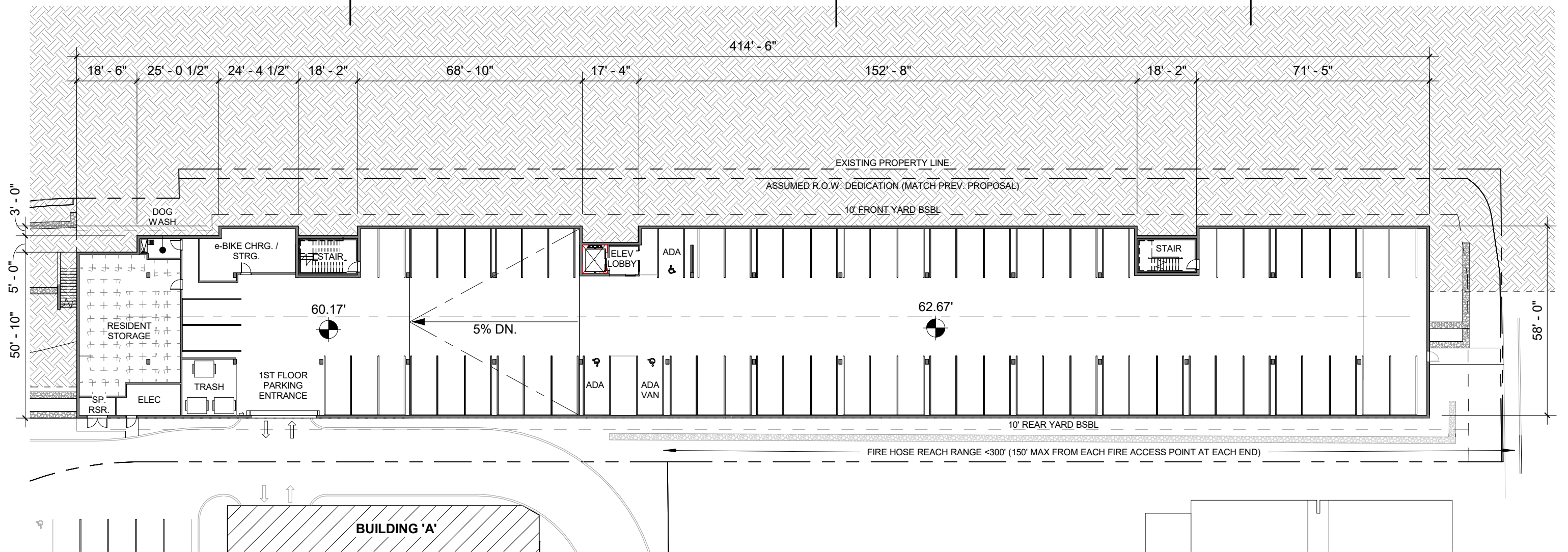
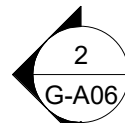


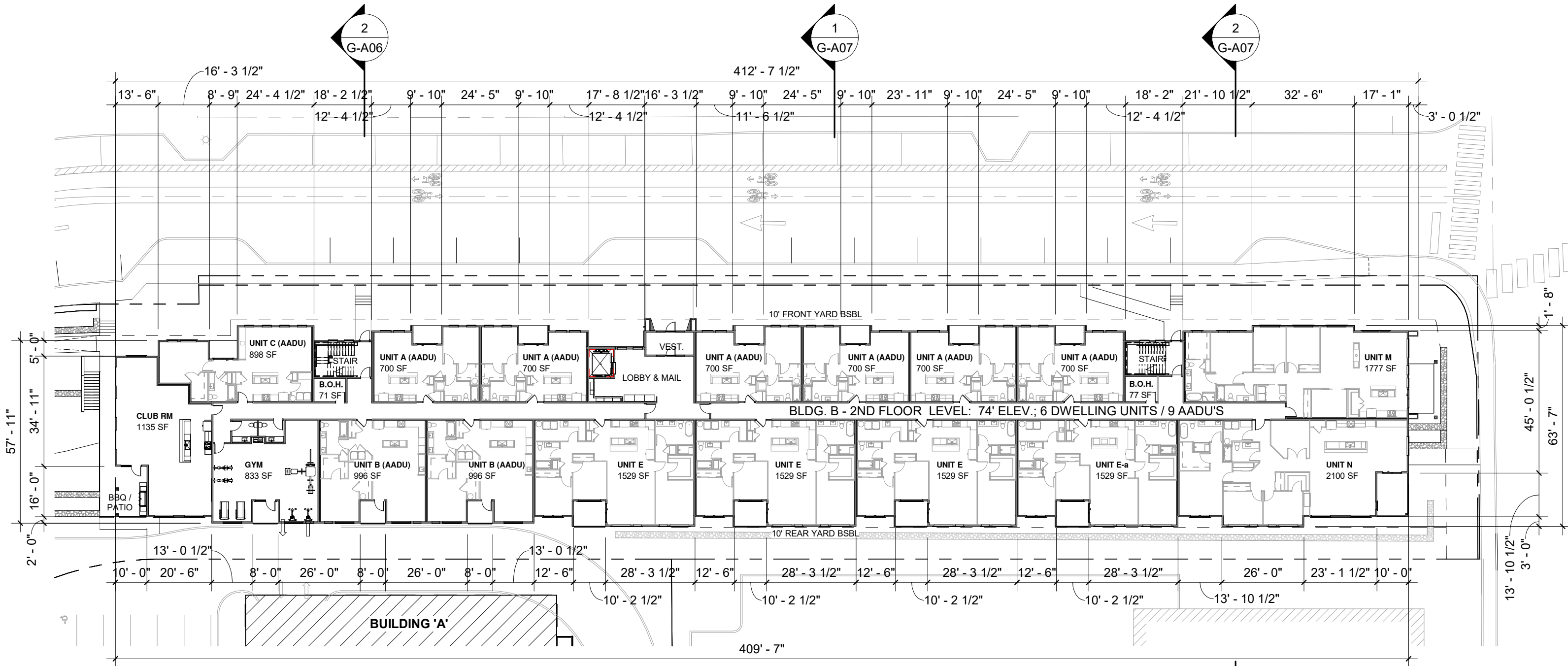
Because the building is zoned commercial but surrounded by single family residential neighborhoods, inspiration was derived from mixed use buildings that blend a public/commercial base with a more residential feeling above by including material/textural changes, building step-backs and insets, balconies and residential-scale window clusters. The step-backs and building modulation in conjunction with the plaza help to reduce the visual scale of the building and help to break the overall mass up into separate building blocks, creating an urban townhouse/rowhouse feeling at street level.



ZONING & DESIGN STANDARDS - for RH (Residential High)

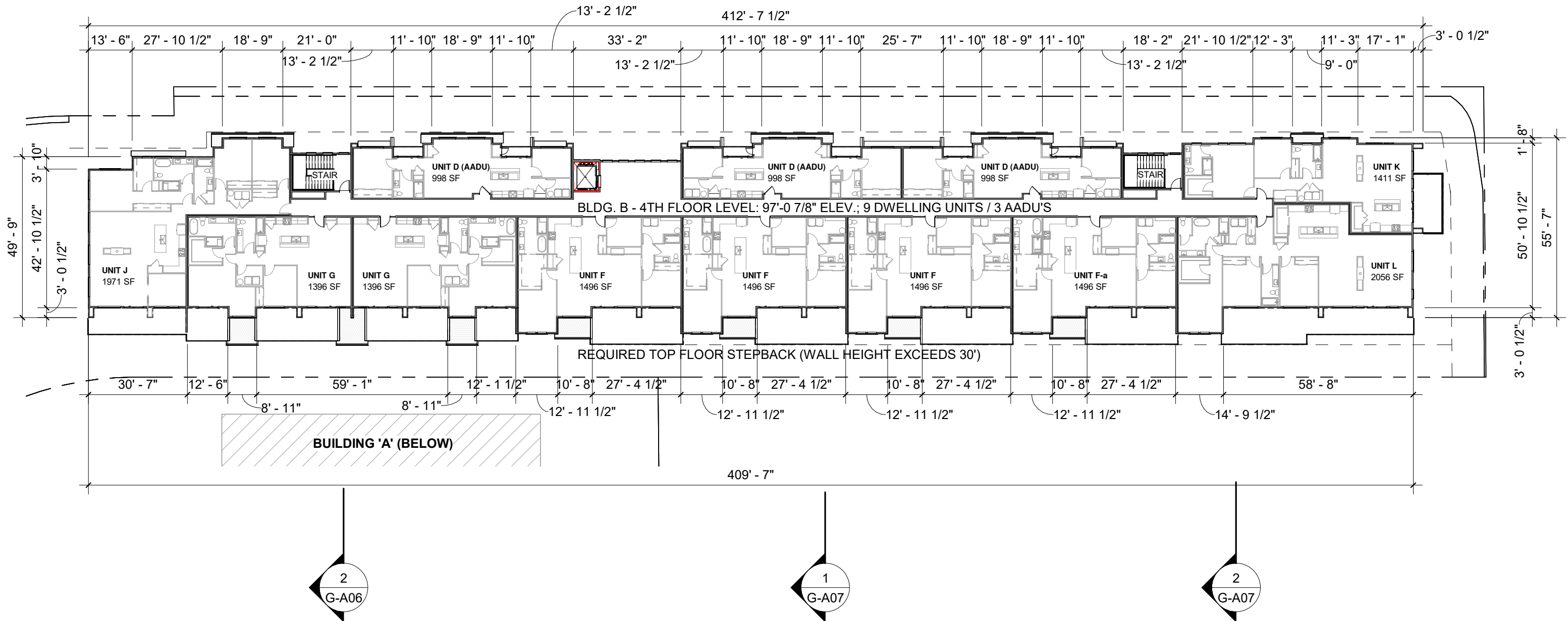
ARCH / ZONING STANDARD	REQUIREMENT	COMPLIANCE STRATEGY	ARCH / ZONING STANDARD	REQUIREMENT	COMPLIANCE STRATEGY
<i>BUILDING HEIGHT</i>	18.70.060: 35' - Vertical distance measured from the avg elevation of the finished grade at an exterior building wall segment to the highest point of the segment. The overall height shall be the average of all building sides. <ul style="list-style-type: none"> Buildings with a pitched roof with a min. slope of 4:12 may extend 5' above the height limit; Buildings with a pitched roof with a min. slope of 6:12 may extend 8' above the height limit; All parts of the roof above 35' must be pitched at a rate of not less than 4:12 and Shed roofs are limited to 35' in height. 18.310.010: Exceptions to ht limits include rooftop mechanical equipment and screening, chimneys, etc. Stair and elevator overruns/access can extend 10' above ht limit and must be set back 15' from all street facing roof edges. Total coverage of all features shall not exceed fifteen percent of the roof area	Building height calculations and diagram are included on sheet G-A05 calling out finish grades and highest points of each elevation segment with the average of all sides coming in at 48.9'. This average includes an additional 10' allowance for having under-building parking and the additional 5' allowance for a 4:12 pitched roof.	<i>BUILDING DESIGN</i> 18.70.060 9 (cont)	Roof Expression. Structures shall have a visual "cap" incl extended eaves; steep pitch hip, gable or saltbox roof form; or projecting cornice of appropriate scale to the building and part of building's trim detail.	Pitched hip and gable roofs make up the predominant roof forms with smaller shed roofs used over pop-outs
<i>AMENITIES</i>	Amenities needed per unit in RH zone: <ul style="list-style-type: none"> 5—20 units 2 amenities 21—40 units 3 amenities 41—60 units 4 amenities 61—80 units 5 amenities 81 units or over 1 additional amenity per 20 units Larger amenities, such as (but not limited to) community building, tennis courts, and swimming pools, may count as at least two amenities	The included amenities are as follows: (2) Corner Park - Semi-private "pocket park" for common resident use (1) Dog Wash - located at the end of the 1st floor garage (1) E-Bike Storage/Charging Room - secured additional bike storage area including charging for e-bikes (1) Exercise room/gym (1) Community club room		Window trim shall be provided for all windows above ground floor and of a width appropriate to scale for the building. The trim shall contrast with the base building color.	The building has incorporated the following design elements: <ul style="list-style-type: none"> decorative door design (main entry) >10% brickwork on facade roof line includes gables and dormers decorative railings/balcony design
	For attached units, each unit shall have an exclusive accessible outdoor private space of not less than 48 SF in area. The area shall be designed to provide privacy for unit residents and their guests.	Each unit has a balcony/deck that is 48 sf minimum and separated from other unit decks by other building elements or privacy screens		Window trim shall be provided for all windows above ground floor and of a width appropriate to scale for the building. The trim shall contrast with the base building color.	A variety of siding materials has been used around the building including fiber cement siding (lap/shingle/panel/etc), wood or fiber cement wood-look siding and masonry (brick). Colors are a mix of neutrals and earth tones. See sheet B-A10 for specifics. Because of the height of the West Elevation wall(s), the majority of the upper story has been stepped back a minimum of 8' and outdoor decks have been incorporated in the resulting space.
<i>LANDSCAPE</i>	A minimum of 20% of the property area shall be landscaped. Setback, parking lot, street trees and building perimeter landscaping contribute to this requirement. For any building wall that exceeds an average of thirty feet in height, a planting bed is required with a hierarchy of plantings for at least sixty percent of the wall length	More than 20% of the property area includes landscaping. See site plan and landscape sheets for specifics.		Materials. Siding must include two different types of materials such as: horizontal lap siding (of any lap design) made of wood or cement-like materials, shingles made of cedar or cement-like materials, board and batten (or panels with similarly spaced battens), brick, or stone (real or cultured). Color: <ul style="list-style-type: none"> Main color should be subtle earth tone colors (soft white, sands, grays, muted pastels, and deep, rich earth colors like terra cotta, forest green, etc) Trim color may be lighter or darker shades of the main color, soft white, or contrast or complement the main color but shall not be bright or bold. Accents may be brighter than main or trim color and shall be limited to 15% of the facade area, excluding glass. Bright, high contrast color banding is limited to maximum 4" width. If any building wall of a multifamily structure is an average 30' or higher in height, the upper wall shall be stepped back no less than 8'. Balconies or other outdoor area shall be incorporated into the stepped back areas.	
<i>PARKING</i> 18.70.080 18.140.040 18.140.050 18.140.060	The min. off-street parking spaces required (on-street parking does not contribute towards the following requirements): <ul style="list-style-type: none"> Adu: (1) off-street parking space provided each Multifamily attached: (1 1/2) spaces; studio apartments may provide (1) space. Guest parking shall be provided at (1) space per (4) units. Minimum (2) bicycle spaces required, then (1) additional space for every (20) spaces;	66 parking stalls required 69 parking stalls provided - Parking calc breakdowns provided on sheet G-A02. 2 + 69 / 20 bicycle rate = 5 stalls required (8) e-bike racks prov. (16 bike capacity) - Bicycle parking area is located in a secure room off of the main garage parking area.		<i>ADU's IN R ZONES</i> 18.70.070	Two accessory dwelling units per principal residential unit are permitted in residential zoning districts <ul style="list-style-type: none"> Each ADU shall contain no more than 1000 SF excluding garages, storage areas less than five feet in height, and porches/covered decks. If the ADU is completely located on a ground floor or basement of the principal unit, the ADU may be increased in size to efficiently use all floor area. A detached ADU shall be limited to 25' in height and be separated from the primary residence. An attached ADU is limited to the height that applies to the principal unit. There shall be 1 off-street parking space provided for each ADU, unless located within 1/2 mile walking distance of a major transit stop. ADU parking space may be in tandem with other required spaces.
<i>BUILDING DESIGN</i> 18.70.060 9	All facades visible from public view need articulation and interest elements added. Treatments include but are not limited to insets or offsets, canopies/awnings, colonnades, wing walls, gables, window clusters, trellises, building facade landscaping, material/color/texture variation, multi-planed roof line, planters, and pedestrian amenities, such as benches and tables. Both vertical and horizontal building modulation shall be required	Each facade has an ample amount of horizontal and vertical modulation, gables/roof variations, material and color changes, wing walls or pilasters for shadow articulation and landscaping elements.			





THE NØRA & VALARI RESIDENCES BUILDING 'B' - SECOND FLOOR PLAN





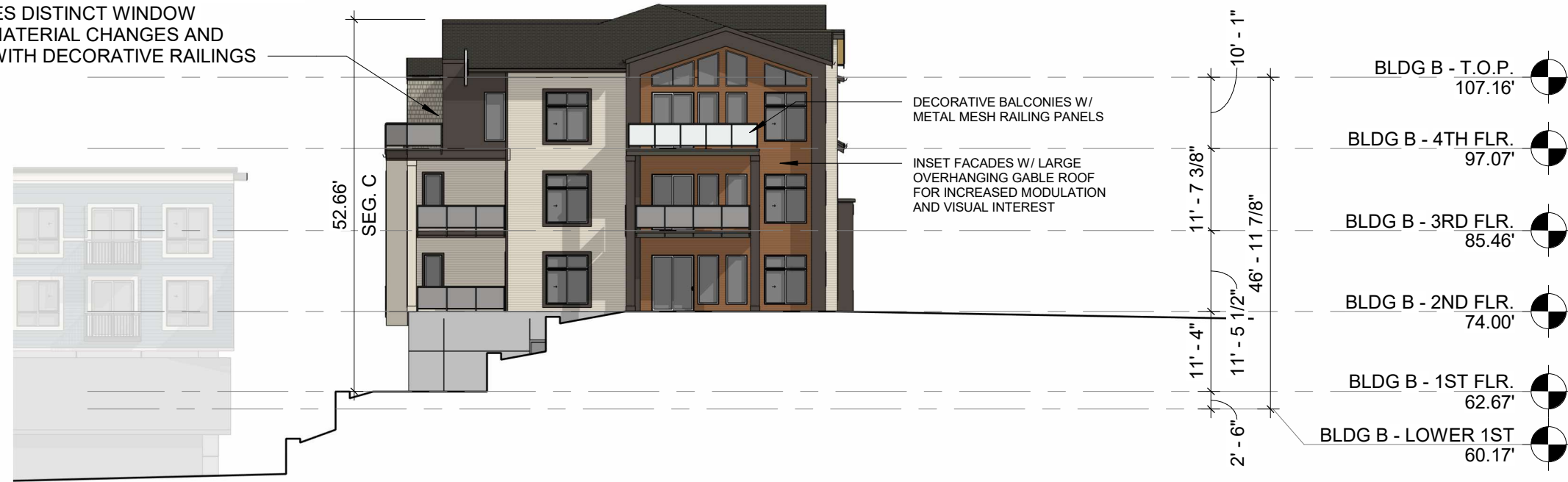


1 BUILDING B - WEST ELEVATION (NORTH)
1" = 20'-0"



2 BUILDING B - WEST ELEVATION (SOUTH)
1" = 20'-0"

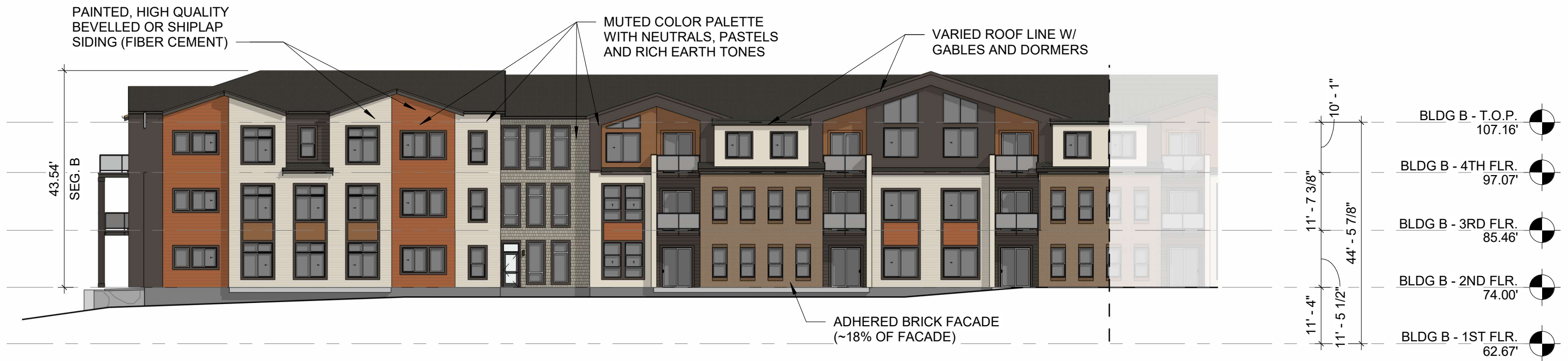
@ WALL HT >30': TOP FLOOR SET BACK 8' MIN.
AND INCLUDES DISTINCT WINDOW
PATTERNS, MATERIAL CHANGES AND
BALCONIES WITH DECORATIVE RAILINGS



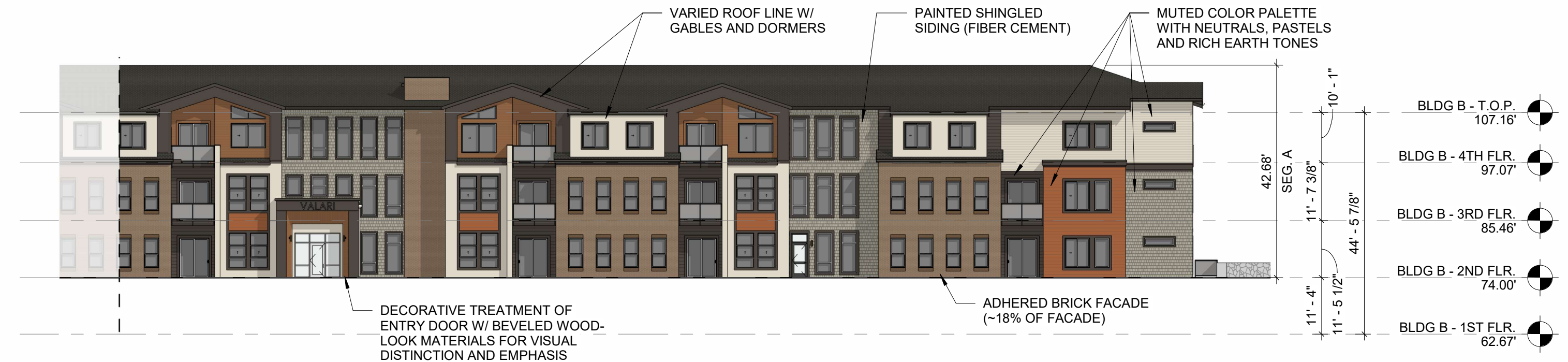
① BUILDING B - SOUTH ELEVATION
1" = 20'-0"



② BUILDING B - NORTH ELEVATION
1" = 20'-0"



① BUILDING B - EAST ELEVATION (SOUTH)
1" = 20'-0"



② BUILDING B - EAST ELEVATION (NORTH)
1" = 20'-0"



ENHANCED WINDOW TRIM PATTERNS TO BREAK UP LARGE PORTIONS OF FACADE

INSETS W/ OVERHANGING GABLE ROOFS AND WING WALLS

DECORATIVE BALCONY DESIGN W/ OPEN METAL MESH RAILING PANELS

WOOD APPEARANCE FIBER CEMENT SIDING (e.g. Woodtone)

PAINTED SHINGLED SIDING (FIBER CEMENT)

PAINTED, HIGH QUALITY BEVELLED OR SHIPLAP SIDING (FIBER CEMENT)

NEUTRAL AND EARTH TONE PAINT PALETTE WITH BLACKS, OFF-WHITES, GREYS AND A DARK RICH COPPER (ALONG WITH THE BRICK AND WOODTONE MATERIALS). See sheet B-A10 for specific colors/materials.

DECORATIVE ROOF LINE WITH MULTIPLE GABLES AND DORMERS

ADHERED BRICK VENEER (18% of facade)

DESIGN STANDARDS UTILIZED:

1. Architectural articulation and interest is required for both horizontal and vertical modulations:
 - Treatments used include **insets** or offsets, **wing walls**, **gables**, **window clusters**, **material/color/texture variation**, **multi-planed roof line**
2. Provide terminus or "cap" to building tops.
 - Options used: **extended eaves**; **gable or saltbox roof form**; **false pitch roof with appearance of hip gable**
3. The following design standards have been utilized:
 - Decorative treatment of windows and doors, such as **molding/framing details**, decorative glazing, or **door designs**;
 - **Brick or stonework covering more than ten percent of the facade**;
 - **Decorative roof line design, including multiple gables and/or dormers, decorative railings**, grill work, or terraced landscape beds integrated along the facade of the building;
 - **Decorative balcony design**;

4. Window trim shall be provided for all windows above ground floor and of a width appropriate to scale for the building. The trim shall contrast with the base building color.
5. Materials. Siding must include two different types of materials, included the following proposed:
 - **Horizontal lap siding** (of any lap design) made of wood or cement-like materials,
 - **Shingles** made of cedar or cement-like materials, board and batten (or panels with similarly spaced battens),
 - **Brick**, or stone (real or cultured).
6. Color. The color palette has been selected to use **soft whites, neutral blacks, grays and deep, rich earth colors** for the main body, trim and accent colors.
7. Walls over 30' in height shall include building step-backs. The top floor steps back at least **8' minimum** and includes **material and color changes, distinctive window patterns and balconies with decorative railings**.

NEIGHBORHOOD CONTEXT:



Childcare center opposite bldg entrance on Sunset (Martha and Mary senior housing beyond)

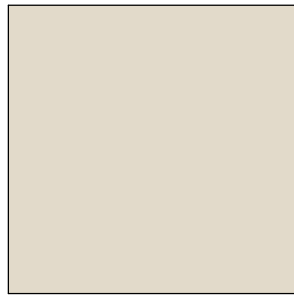


Neighborhood houses on Willet Lane (overlooking Sunset St. @ NE corner of site)

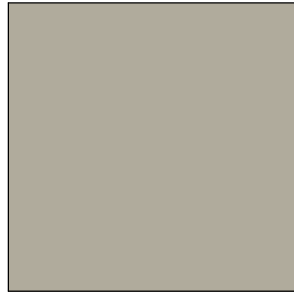


Neighborhood houses on Scooter Lane (looking South towards Sunset and site)

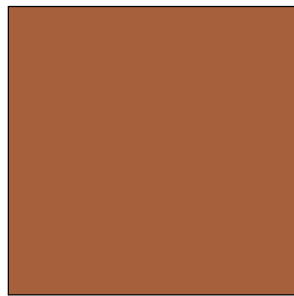
PAINT COLORS / MATERIALS



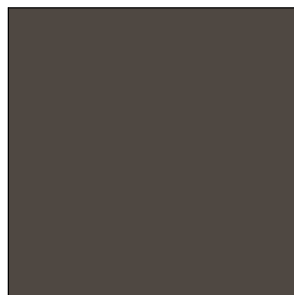
SW 7568 - NEUTRAL GROUND



SW 6171 - CHATROOM



SW 6356 - COPPER MOUNTAIN



SW 7020 - BLACK FOX



Wood or wood-look fiber cement siding
Lap siding - color TBD



Brick-It
Thin Brick Veneer - Mudslide



Lighting:
Simple conical or cylindrical
lighting at building
entrances and patios



Decorative Railing:
Metal/Wire Mesh Infill Panels for
increased visibility from balconies

INSPIRATIONAL IMAGERY



Building forms inspired by Scandinavian urban/suburban residential forms: gables or pitched roofs, clean lines with simple trim and banding, ample glazing, and colors and materials inspired by nature (wood or wood-look siding, neutral or deep earthy tones like burnished gold, brick red or forest green). Additional inspiration comes from the brick townhomes/row houses typical in Europe that incorporate dormers and smaller regular window patterns to add variety but also to reduce visual scale in portions along the streetscape.

