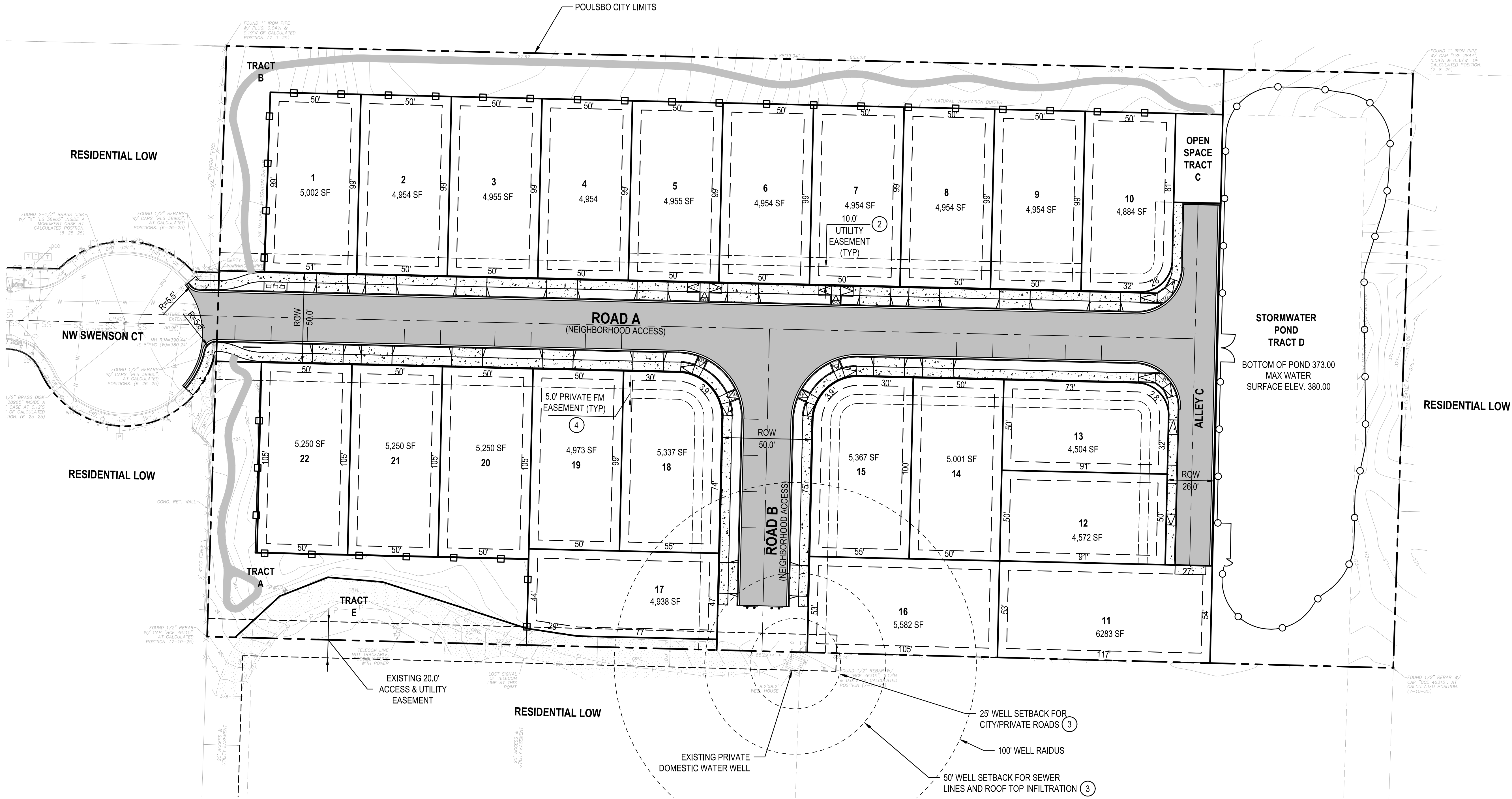


EXHIBIT C

Site Plan Drawing

LEGEND

- PROPOSED PROPERTY LINE
- PROPERTY LINE
- PROPOSED EASEMENT (2)
- EXISTING EASEMENT
- BUILDING SETBACK LINE
- CENTERLINE
- SPLIT RAIL FENCE
- FENCE
- TRAIL



TRACT SUMMARY TABLE			
TRACT	AREA (SF)	% OF TOTAL	USE
A	7,275	11.55	OPEN SPACE
B	16,243	25.78	OPEN SPACE
C	1,274	2.02	RECREATION, OPEN SPACE
D	33,717	53.51	STORMWATER POND
E	4,387	6.96	ACCESS

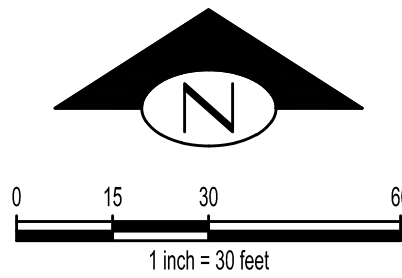
PRD RECREATION TRACT EXPANDED DESCRIPTION		
TRACT	USE	TYPE OF RECREATION USE
A	NATURE TRAIL THROUGH OPEN SPACE AREA	GROUP 1 PASSIVE
B	NATURE TRAIL THROUGH OPEN SPACE AREA	GROUP 1 PASSIVE
C	PARK WITH TWO PICNIC TABLES (ONE ADA)	GROUP 1 PASSIVE

PRD LOT CALCULATIONS TABLE		
PMC SECTION 18.260		
CODE REFERENCE	ALLOWED	PROVIDED
MINIMUM LOT AREA	3,750 SF	4,504 SF
MINIMUM AVERAGE LOT AREA	3,750 SF	5,005 SF
MAX GROSS DENSITY (5 UNITS PER GROSS ACRE)	24 LOTS	22 LOTS
MINIMUM NET DENSITY (4 UNITS PER NET ACRE)	19 LOTS	22 LOTS

PROPERTY INFORMATION SUMMARY TABLE		
TOTAL SITE AREA	214,308 SF / 4.92 AC	
ZONING	RESIDENTIAL LOW (RL)	
TYPICAL LOT SIZE	4,955 SF	
SMALLEST LOT SIZE	4,504 SF	
AVERAGE LOT SIZE	5,005 SF	
LARGEST LOT SIZE	6,283 SF	
DEVELOPMENT SUMMARY TABLE		
	REQUIRED	PROVIDED
UNENCUMBERED OPEN SPACE (MIN 15%)	32,146 SF	34,718 SF
FRONT SETBACK H/G	10 FT	10 FT / 20 FT
SIDE SETBACK	5 FT	5 FT
REAR SETBACK	5 FT	5 FT
MAX BLDG HEIGHT	35 FT	35 FT

NOTES:

- SEE SHEET C2.00 FOR PRELIMINARY STRIPING, SIGNAGE, AND PROPOSED ON-STREET PARKING STALLS.
- PROPOSED UTILITY EASEMENT FOR WATER, SEWER, STORMWATER, AND FRANCHISE UTILITIES SHALL ALL BE 10' (TYP) UNLESS OTHERWISE NOTED.
- PRIVATE DOMESTIC WELL SETBACKS REQUIRED BY THE KITSAP PUBLIC HEALTH DISTRICT ARE MAPPED FROM THE CENTER OF THE SURVEYED WELL HOUSE.
- PROPOSED EASEMENT FOR FORCE MAIN SHALL BE 5' (TYP).



Z:\2500001-2509999\2500156_Engis_Plan\CAD\Design\Plan\Fig-PP-C1.00-PLAN.dwg
Jun 04, 2026 - 5:06pm
molly.hoole

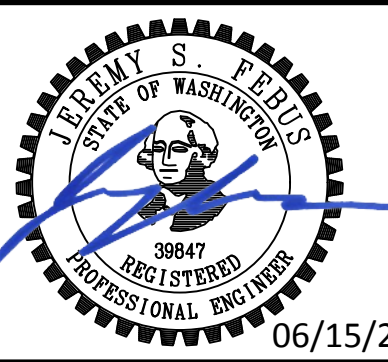
1	09/2025	RAG	JRN	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL	DRAWN BY RAG	DESIGNED BY JRN
2	03/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 1	CHECKED BY EKC	APPROVED BY JSF
3	05/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 2	DATE OCTOBER 9, 2026	
4	06/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 3	JOB No.: 2500156	
NO.	DATE	BY	CHD.	APPR.	REVISION	SCALE: AS NOTED	

CALL TWO BUSINESS
DAYS BEFORE YOU DIG
1-800-424-5555

SCALE:
AS NOTED



1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com



CEDARVIEW AT GLENNWOOD PLANNED RESIDENTIAL DEVELOPMENT
POULSBO, WASHINGTON

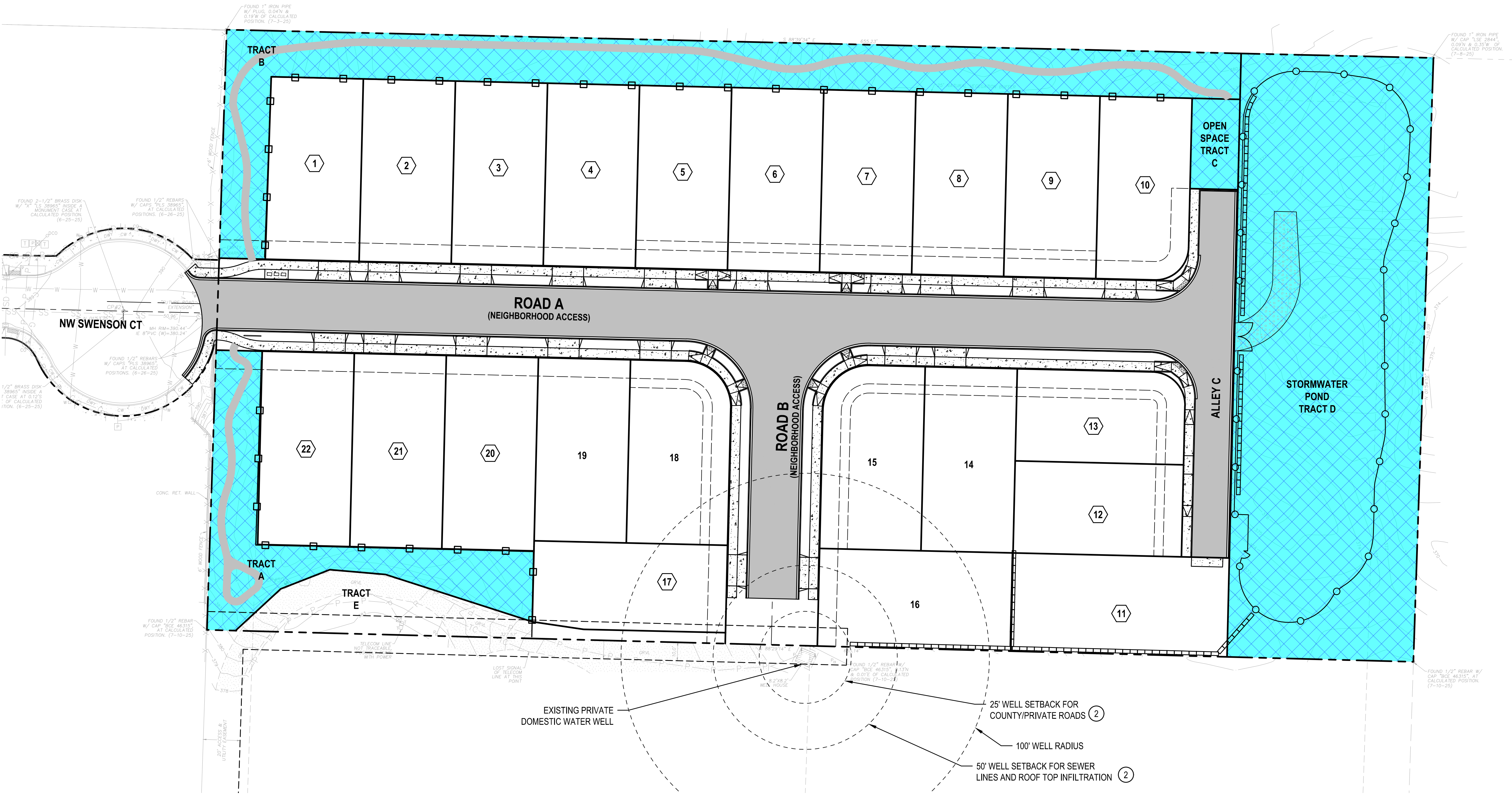
PRELIMINARY PLAT PLAN

SHEET

C1.00

NOTES:

- 1
- OPEN SPACE IDENTIFIED IN THE TRACT OPEN SPACE SUMMARY TABLE IS HIGHLIGHTED IN BLUE/CYAN ON THIS PLAN.
- 2
- PRIVATE DOMESTIC WELL SETBACKS REQUIRED BY THE KITSAP PUBLIC HEALTH DISTRICT ARE MAPPED FROM THE CENTER OF THE SURVEYED WELL HOUSE.



LEGEND

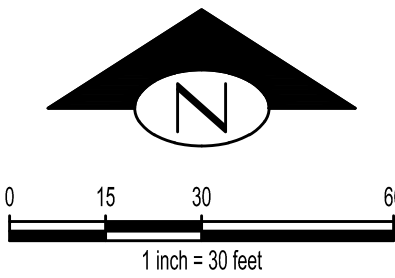
- PROPOSED PROPERTY LINE
- PROPERTY LINE
- PROPOSED EASEMENT (GRADING AND UTILITY)
- EXISTING EASEMENT
- CENTERLINE
- SPLIT RAIL FENCE
- FENCE
- TRAIL
- #

LOT WITH DIRECT VISIBILITY TO OPEN SPACE
- OPEN SPACE 1

TRACT SUMMARY TABLE			
TRACT	TOTAL AREA (SF)	UNENCUMBERED AREA (SF)	USE
A	7,275	7,275	OPEN SPACE
B	16,243	16,243	OPEN SPACE
C	1,274	1,274	RECREATION, OPEN SPACE
D	33,717	9,926	STORMWATER POND
E	4,387	0	ACCESS

PRD OPEN SPACE CALCULATIONS TABLE		
PMC SECTION 18.260		
CODE REFERENCE	ALLOWED/ REQUIRED	PROVIDED
TOTAL SITE AREA	---	4.92 AC
ROW AREA	---	0.89 AC
UNENCUMBERED OPEN SPACE ¹	0.74 AC	0.81 AC

¹ 15% OPEN SPACE IS REQUIRED FOR AVERAGE LOT SIZE OF BETWEEN 4,500 SF AND 5,499 SF



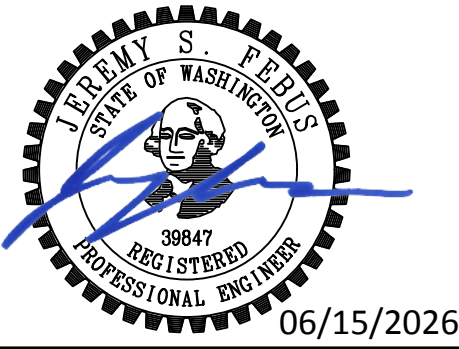
1	09/2025	RAG	JRN	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL	DRAWN BY RAG	DESIGNED BY JRN
2	03/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 1	CHECKED BY EKC	APPROVED BY JSF
3	05/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 2	DATE OCTOBER 9, 2026	
4	06/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 3	JOB No.: 2500156	
NO.	DATE	BY	CHD.	APPR.	REVISION		

CALL TWO BUSINESS
DAYS BEFORE YOU DIG
1-800-424-5555

SCALE:
AS NOTED

kpff

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

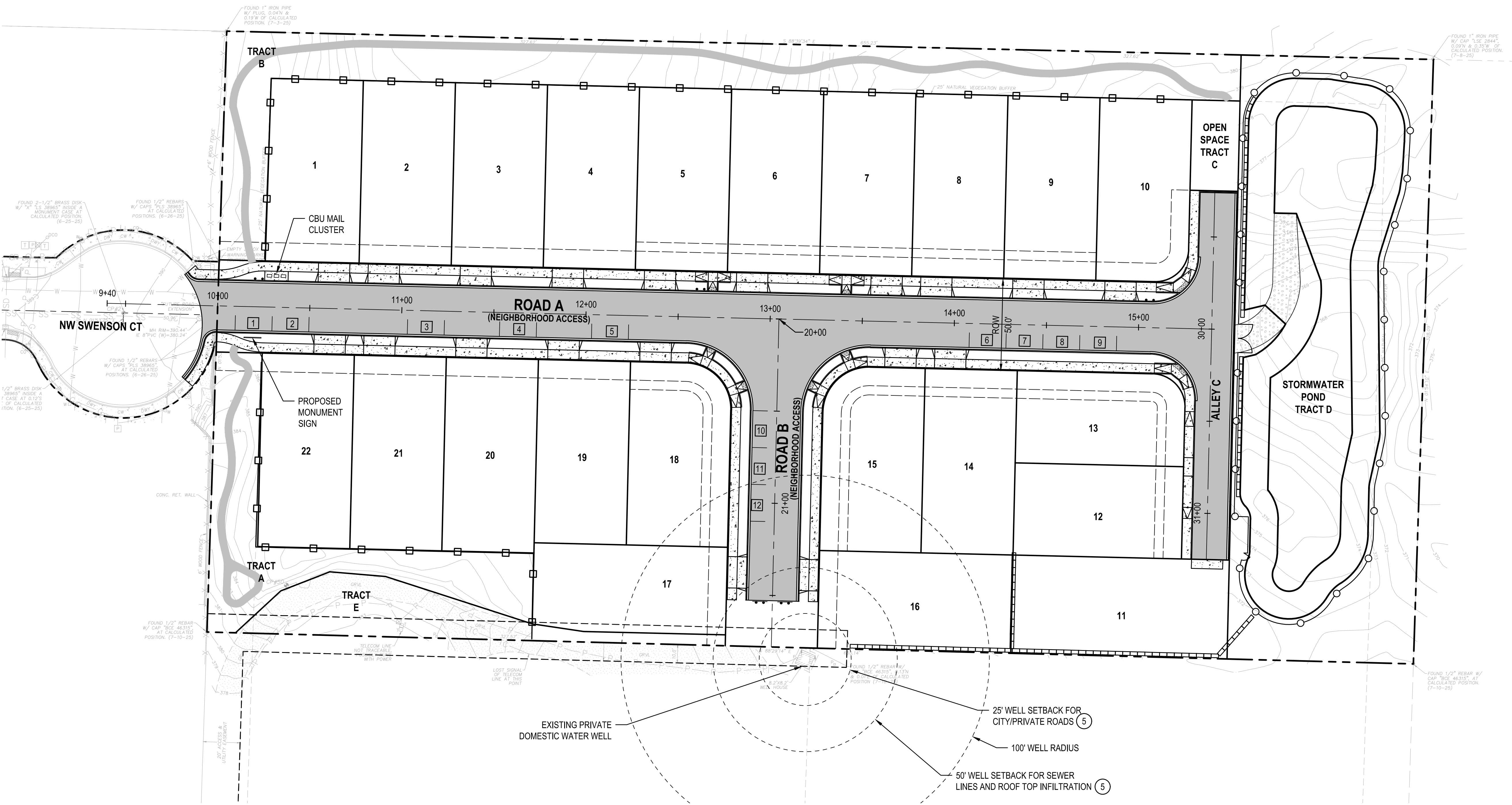


CEDARVIEW AT GLENNWOOD PLANNED RESIDENTIAL DEVELOPMENT
POULSBO, WASHINGTON

OPEN SPACE PLAN

SHEET

C1.10



LEGEND

PROPOSED PROPERTY LINE

PROPERTY LINE

PLAT BOUNDARY

CENTERLINE

PROPOSED EASEMENT (GRADING AND UTILITY)

EXISTING EASEMENT

SPLIT RAIL FENCE

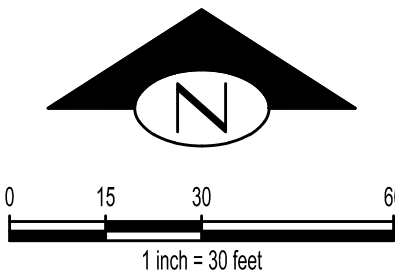
FENCE

TRAIL

PARKING STALL (12 STANDARD 8'x20' STALLS)

NOTES:

1. ON-STREET PARKING STALLS ARE NOT STRIPED. APPROXIMATE LOCATIONS ARE SHOWN FOR PARKING SPACE COUNTING ONLY. 11 ON-STREET STALLS ARE REQUIRED. THE PROPOSAL INCLUDES 12 ON-STREET STALLS.
2. NO PARKING/FIRE LANE SIGNS, STREET NAME SIGNS, AND OTHER CHANNELIZATION ELEMENTS WILL BE DESIGNED DURING CONSTRUCTION DOCUMENT PREPARATION.
3. THE NORTH SIDE OF ROAD A, EAST SIDE OF ROAD B, EAST & WEST SIDES OF ALLEY C SHALL BE STRIPED AND/OR SIGNED AS "NO PARKING - FIRE LANE".
4. GARBAGE AND RECYCLE CONTAINER STAGING SHALL BE CURBSIDE ALONG PUBLIC ROAD ON THE NO PARKING SIDE OF THE STREET.
5. PRIVATE DOMESTIC WELL SETBACKS REQUIRED BY THE KITSAP PUBLIC HEALTH DISTRICT ARE MAPPED FROM THE CENTER OF THE SURVEYED WELL HOUSE.



1	09/2025	RAG	JRN	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL	DRAWN BY RAG	DESIGNED BY JRN
2	03/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 1	CHECKED BY EKC	APPROVED BY JSF
3	05/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 2	DATE OCTOBER 9, 2026	
4	06/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 3	JOB No.: 2500156	
NO.	DATE	BY	CHD.	APPR.	REVISION		

CALL TWO BUSINESS
DAYS BEFORE YOU DIG
1-800-424-5555

SCALE:
AS NOTED

kpff

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

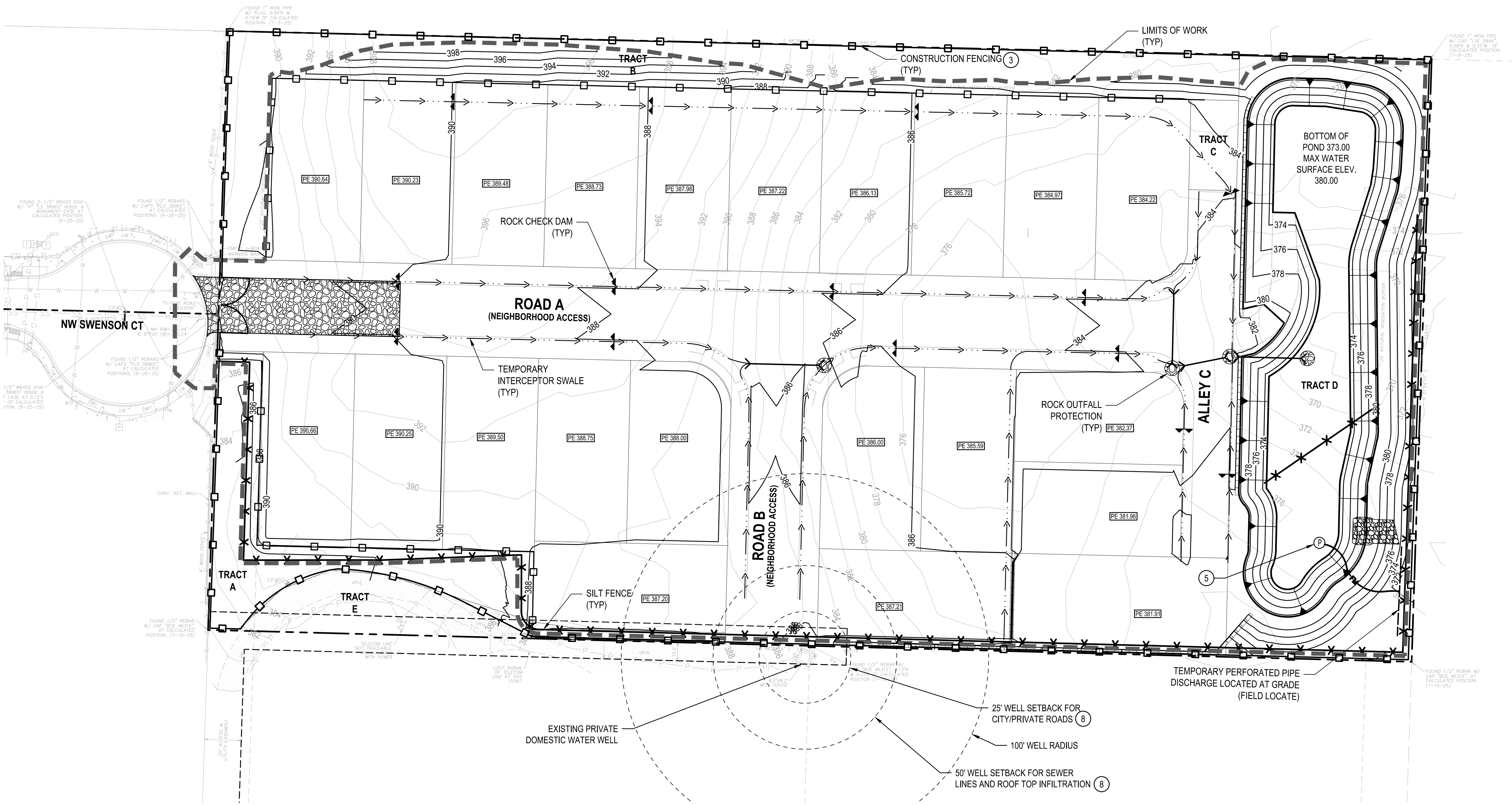


CEDARVIEW AT GLENNWOOD PLANNED RESIDENTIAL DEVELOPMENT
POULSBO, WASHINGTON

SIGNAGE AND STRIPING PLAN

SHEET

C2.00

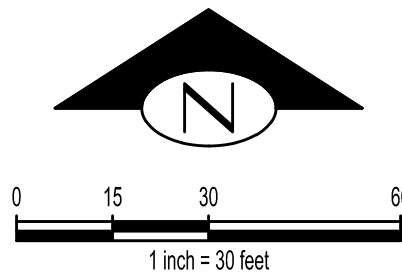


- LEGEND**
- PROPERTY LINE/PROPOSED ROW
 - EXISTING EASEMENT
 - LIMITS OF DISTURBANCE
 - TEMPORARY CONSTRUCTION ENTRANCE
 - SILT FENCE
 - INTERCEPTOR SWALE
 - ROCK CHECK DAM
 - TEMPORARY CULVERT
 - ROCK ARMORING
OUTFALL PROTECTION
 - CATCH BASIN INLET PROTECTION
 - EXISTING ELEVATION CONTOUR
 - PROPOSED ELEVATION CONTOUR
 - PERFORATED DISPERSION PIPE
 - PUMP
 - FORCE MAIN
 - CONSTRUCTION FENCING

NOTES:

- PERMANENT STORMWATER DETENTION POND WILL BE CONSTRUCTED AND USED FOR TEMPORARY SEDIMENT CONTROL DURING CONSTRUCTION. CONTRACTOR SHALL REMOVE ACCUMULATED SEDIMENT PRIOR TO FINAL COMMISSIONING. NO CONSTRUCTION STORMWATER SHALL BE ROUTED TO THE DETENTION POND ONCE THE DETENTION POND HAS BEEN COMMISSIONED AND IS ON-LINE. TEMPORARY SEDIMENT POND MAY BE UTILIZED IN LIEU OF PERMANENT STORMWATER DETENTION POND FOR CONSTRUCTION STORMWATER SETTLING. SEDIMENT POND SHALL HAVE A MINIMUM SURFACE AREA OF 4,750 SF. SEE DETAILS ON SHEET C3.11 FOR ADDITIONAL SEDIMENT POND REQUIREMENTS.
- SEE STANDARD TESC DETAILS ON SHEETS C3.10 AND C3.11.
- CONTRACTOR SHALL PROVIDE SIGNAGE, FENCING, AND SITE SECURITY AS NECESSARY TO PREVENT UNAUTHORIZED ACCESS TO THE SITE.
- NO SEDIMENT LADEN WATER SHALL BE PERMITTED TO LEAVE THE SITE. CONTRACTOR SHALL MONITOR AND CONFIRM STORMWATER DISCHARGE MEETS CITY OF POULSBORO, KITSAP COUNTY, AND ECOLOGY DISCHARGE REQUIREMENTS.
- PUMP AND FORCE MAIN TO BE SIZED AND PROVIDED BY THE CONTRACTOR AS NECESSARY.
- CONTRACTOR SHALL INSTALL TEMPORARY INTERCEPTOR SWALES WHERE WALLS ARE PROPOSED AND SHALL SUPPLEMENT AS NEEDED WITH STRAW WATTLES.
- TREES LOCATED IN OPEN SPACE TRACTS A & B SHALL BE THE RESPONSIBILITY OF THE HOME OWNER'S ASSOCIATION TO MAINTAIN. ALTERATIONS, INCLUDING TREE REMOVAL AND PRUNING, WITHIN TREE RETENTION AREAS REQUIRE REVIEW AND APPROVAL OF THE CITY PLANNING & ECONOMIC DEVELOPMENT DIRECTOR AND CITY ARBORIST.
- PRIVATE DOMESTIC WELL SETBACKS REQUIRED BY THE KITSAP PUBLIC HEALTH DISTRICT ARE MAPPED FROM THE CENTER OF THE SURVEYED WELL HOUSE.

COMPLETE TESC PLAN AND DETAILS TO BE PROVIDED
WITH CONSTRUCTION DOCUMENTATION
(ENGINEERING SUBMITTAL).

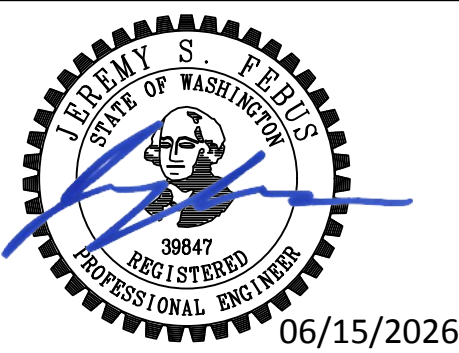


1	09/2025	RAG	JRN	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL	DRAWN BY RAG	DESIGNED BY JRN
2	03/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 1	CHECKED BY EKC	APPROVED BY JSF
3	05/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 2	DATE OCTOBER 9, 2026	
4	06/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 3	JOB No.: 2500156	
NO.	DATE	BY	CHD.	APPR.	REVISION		

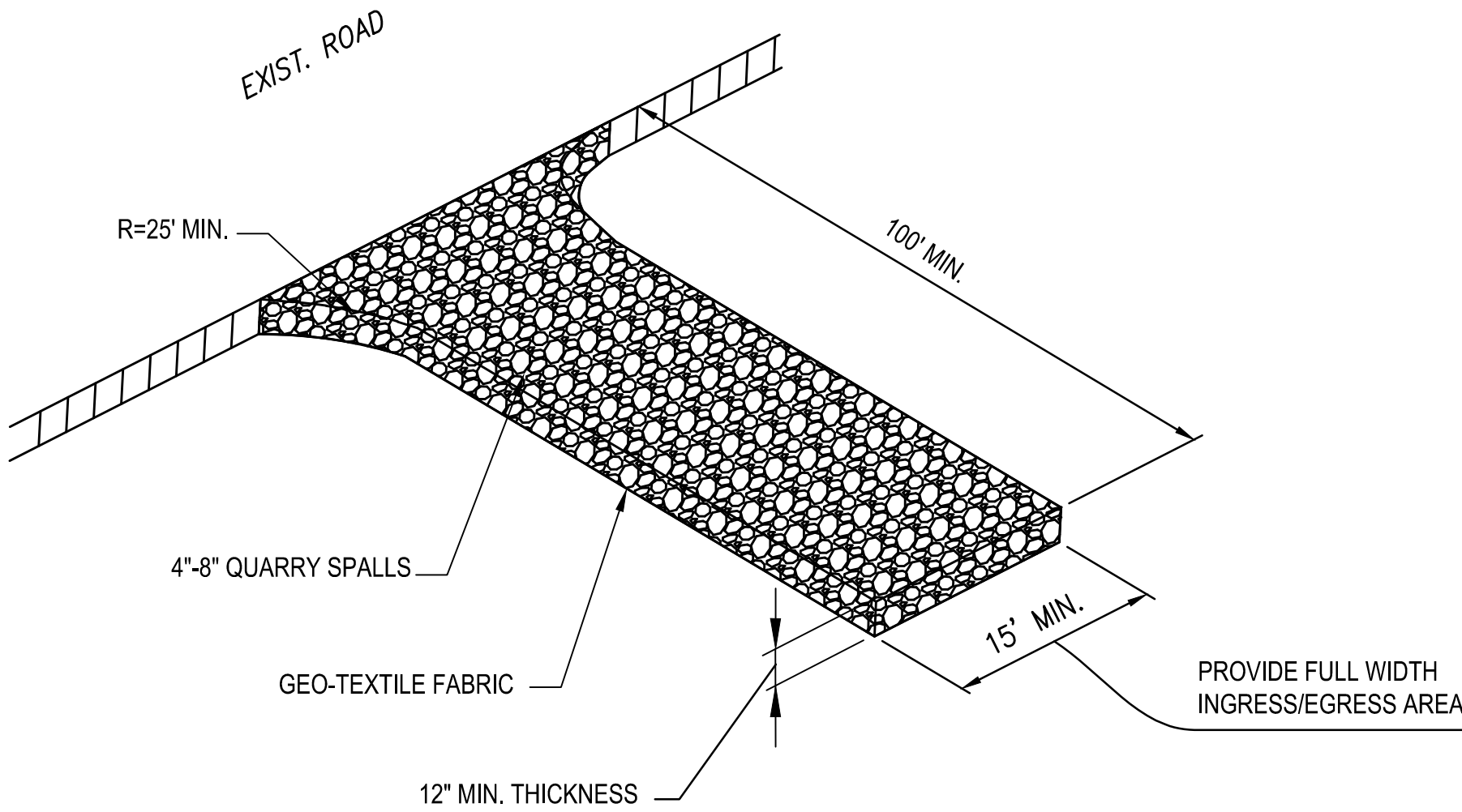
CALL TWO BUSINESS
DAYS BEFORE YOU DIG
1-800-424-5555

kpff
1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

SCALE:
AS NOTED



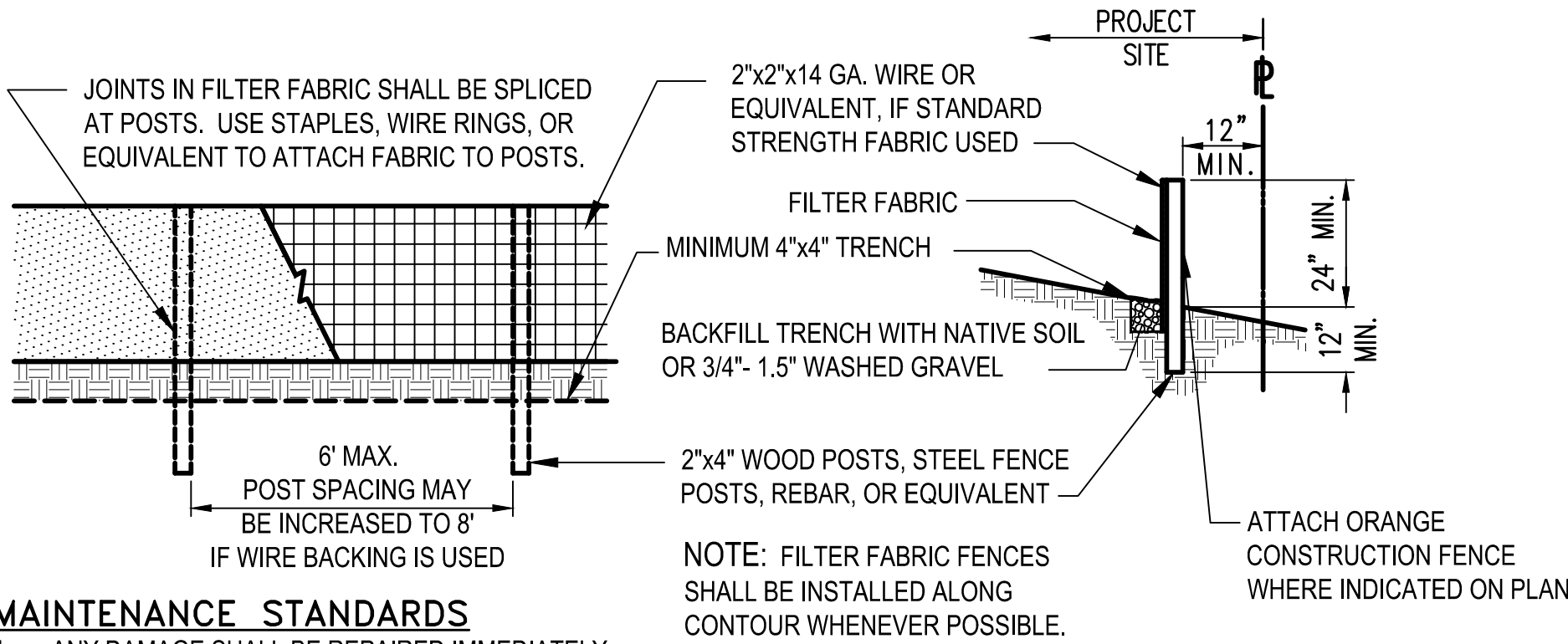
CEDARVIEW AT GLENNWOOD PLANNED RESIDENTIAL DEVELOPMENT POULSBORO, WASHINGTON		SHEET
TESC PLAN		C3.00



TEMPORARY
CONSTRUCTION ENTRANCE

NTS

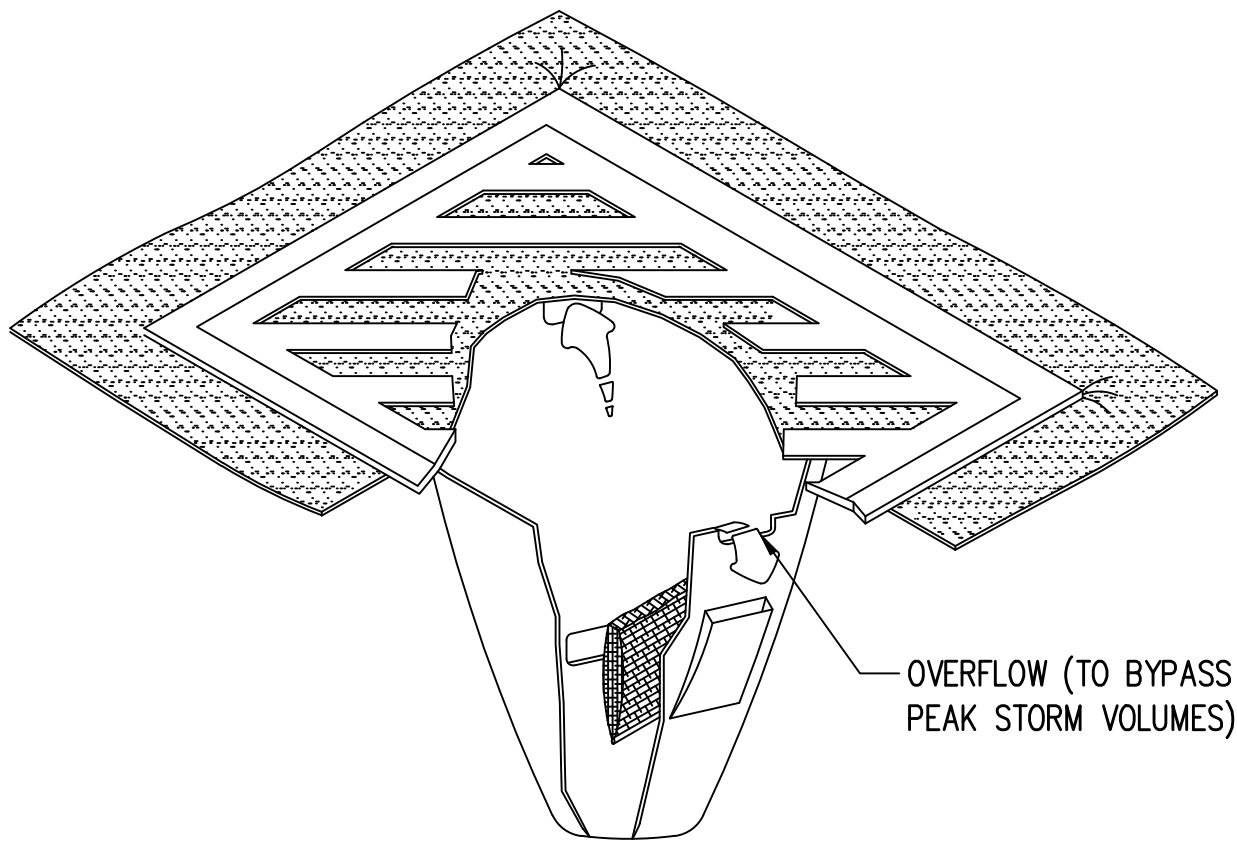
1
C3.00



SILT FENCE

NTS

2
C3.00



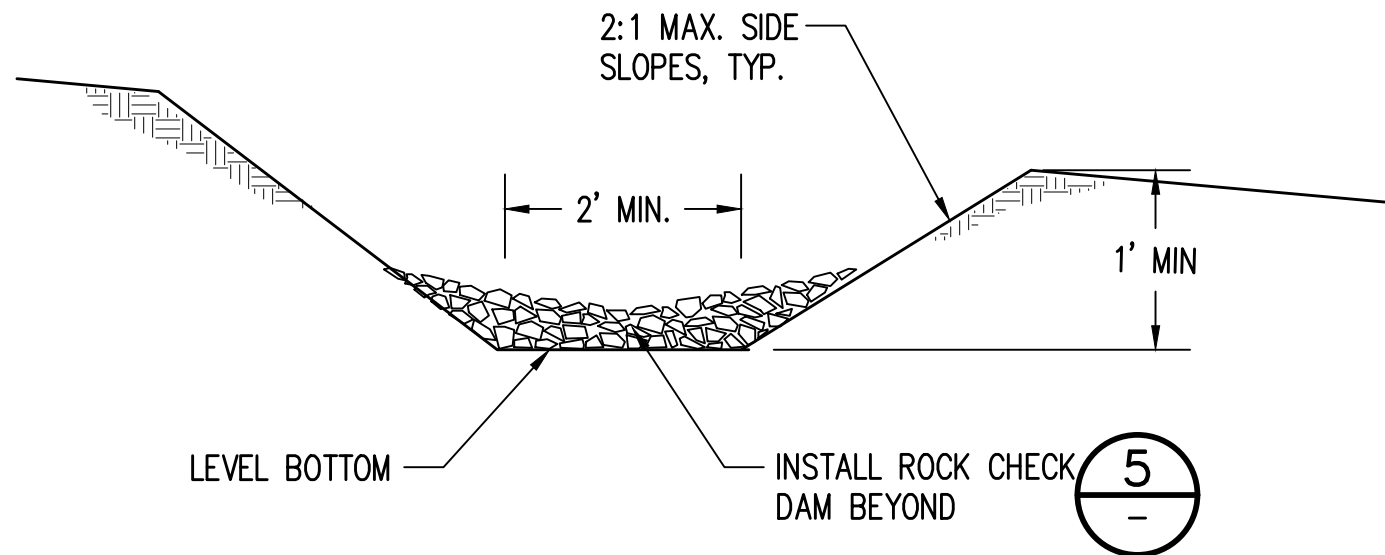
CATCH BASIN INLET PROTECTION

NTS

3
C3.00

NOTES:

1. STORM DRAIN INLETS NEED TO BE REMOVED AT THE END OF THE JOB.
2. STORM DRAIN INLETS ARE ONLY TO BE INSTALLED IN DRAINAGE DEVICES PER THE MANUFACTURER'S RECOMMENDATIONS. CATCH BASIN INSERTS ARE NOT TO BE INSTALLED IN CURB INLETS.
3. INSERTS SHALL BE INSPECTED AND MAINTAINED WHEN A 1/3 INCH RAIN ACCUMULATES WITHIN A 24 HOUR PERIOD. CLEAN AND/OR REPLACE INSERT WHEN HALF OF THE TRAP IS FILLED WITH SEDIMENTS.

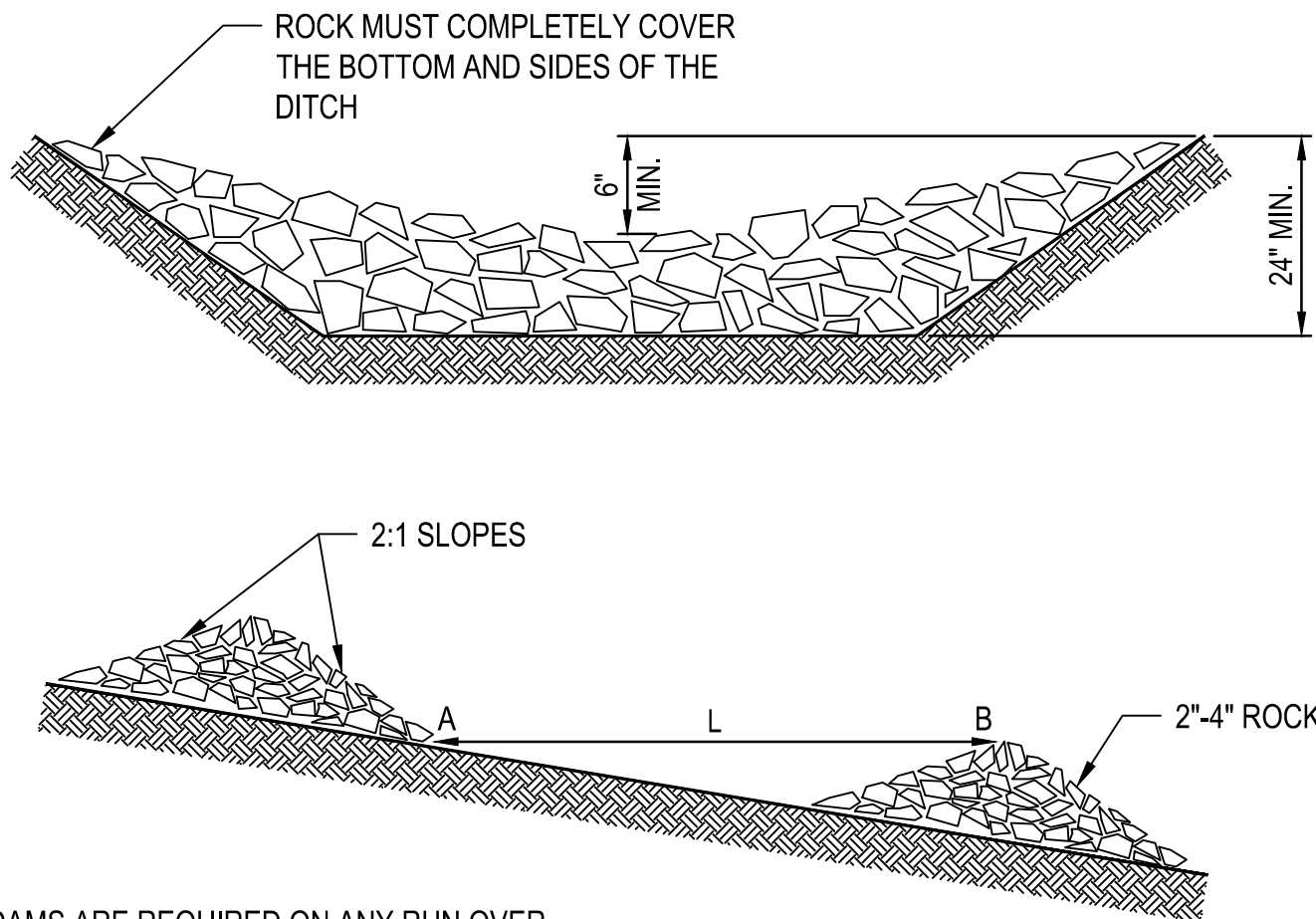


INTERCEPTOR SWALE

NTS

4
C3.00

NOTE:
DAMAGE RESULTING FROM RUNOFF OR CONSTRUCTION
ACTIVITY SHALL BE REPAIRED IMMEDIATELY.



ROCK CHECK DAM

NTS

5
C3.00

NOTES:

1. CHECK DAMS ARE REQUIRED ON ANY RUN OVER 100-FEET AT 6% OR GREATER SLOPE
2. L = THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION

COMPLETE TESC PLAN AND DETAILS TO BE PROVIDED
WITH CONSTRUCTION DOCUMENTATION
(ENGINEERING SUBMITTAL).

1	09/2025	RAG	JRN	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL	DRAWN BY RAG	DESIGNED BY JRN
2	03/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 1	CHECKED BY EKC	APPROVED BY JSF
3	05/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 2	DATE OCTOBER 9, 2026	
4	06/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 3	JOB No.: 2500156	
NO.	DATE	BY	CHD.	APPR.	REVISION		

CALL TWO BUSINESS
DAYS BEFORE YOU DIG
1-800-424-5555

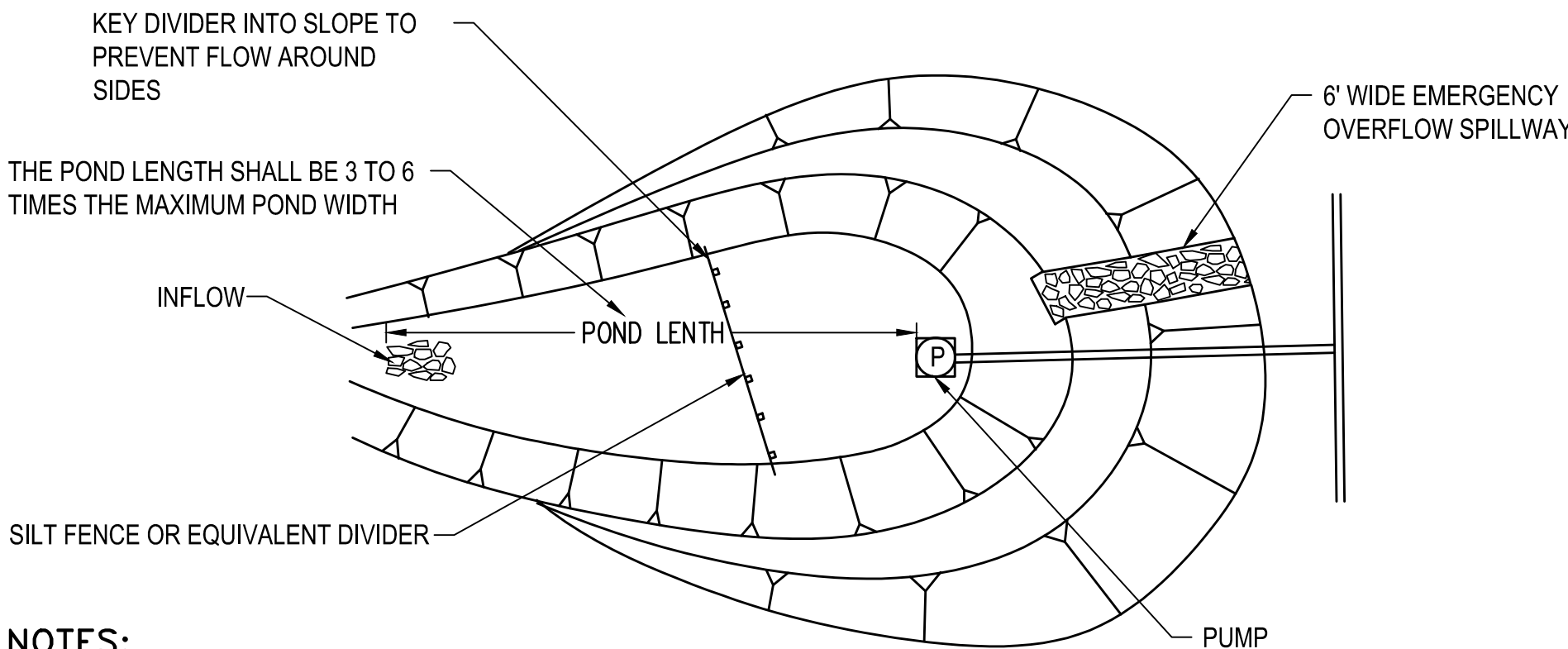
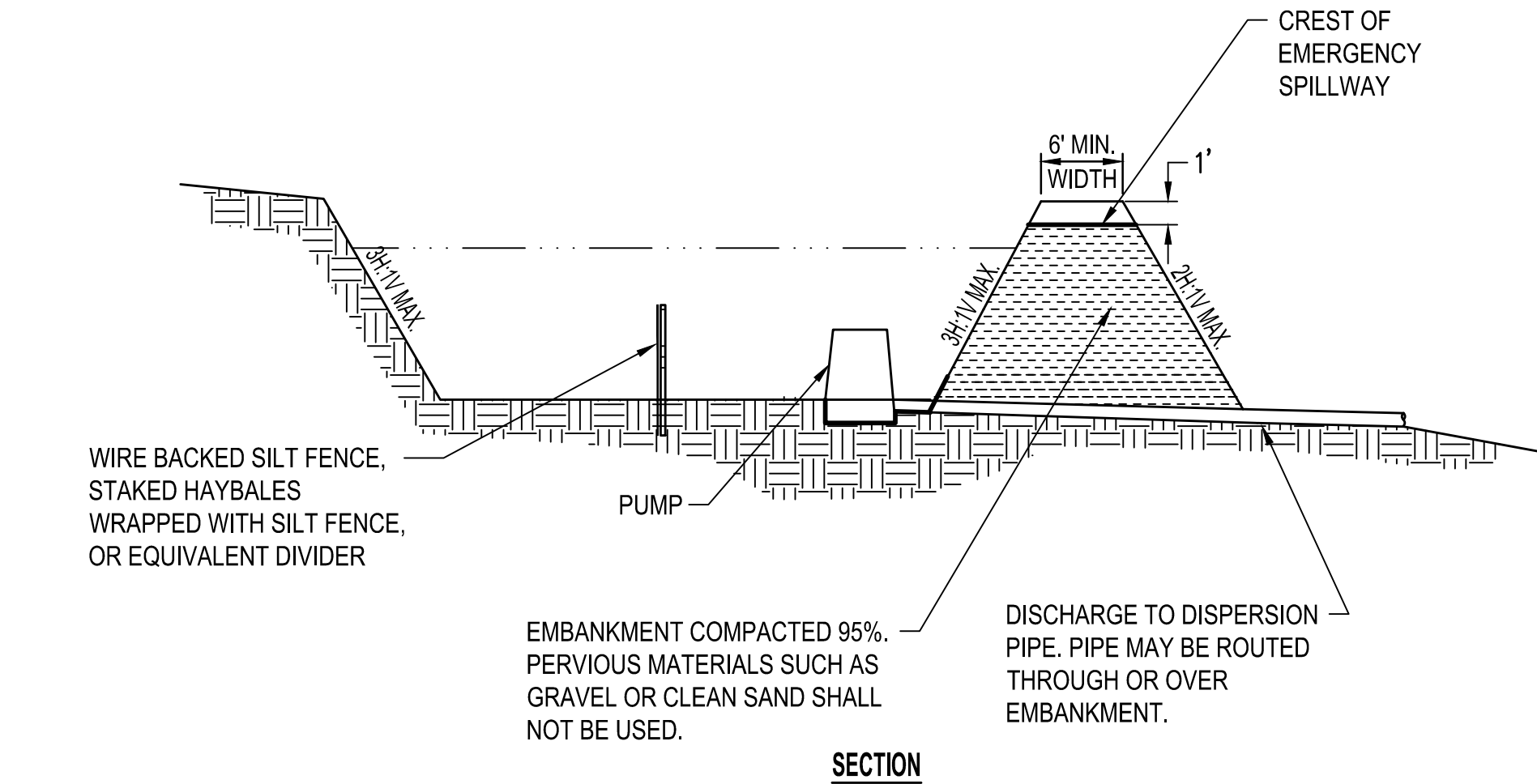
SCALE:
AS NOTED

kpff

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

STATE OF WASHINGTON
REGISTERED PROFESSIONAL ENGINEER
39847
06/15/2026

CEDARVIEW AT GLENNWOOD PLANNED RESIDENTIAL DEVELOPMENT POULSBORO, WASHINGTON		SHEET
TESC DETAILS		C3.10



NOTES:

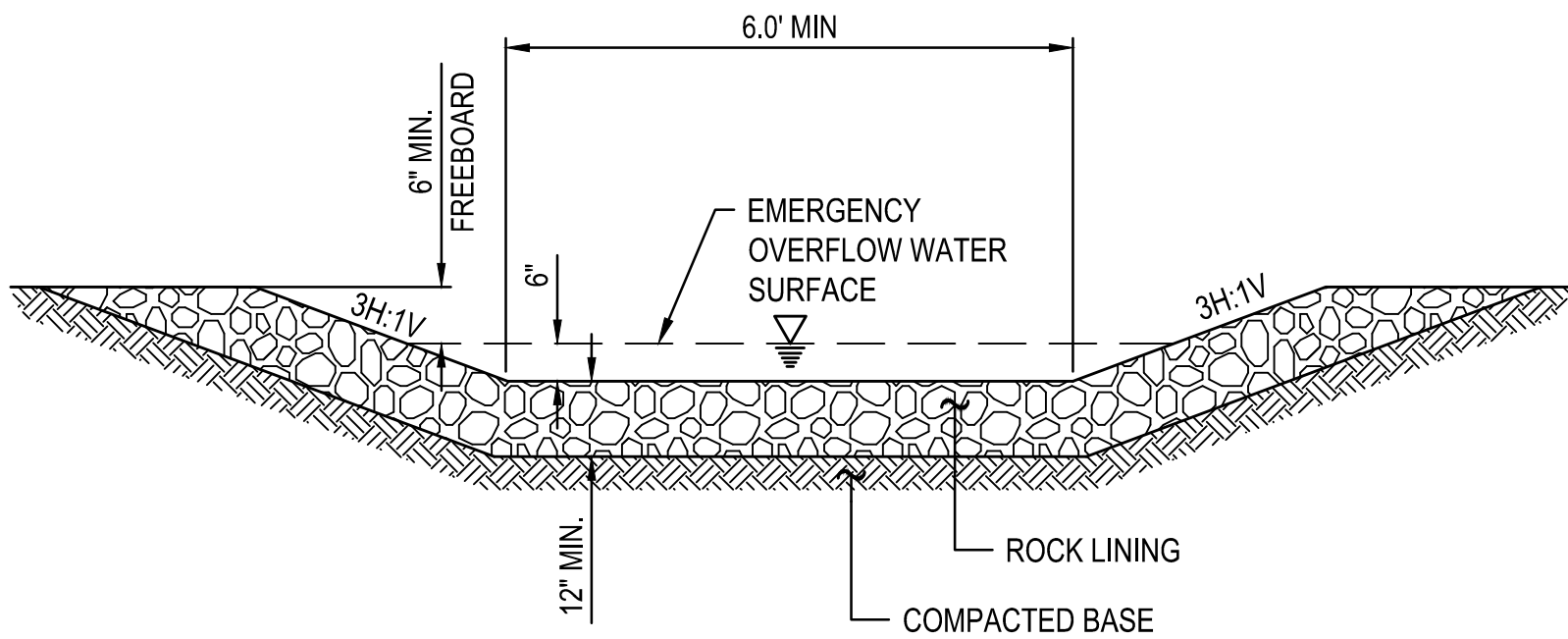
1. POND MAY BE FORMED BY BERM OR BY PARTIAL OR COMPLETE EXCAVATION.
2. THE PROJECT GEOTECHNICAL ENGINEER SHALL OBSERVE AND APPROVE POND EMBANKMENT CONSTRUCTION.
3. SEDIMENT POND SHALL HAVE A MINIMUM SURFACE AREA OF 4,930 SF.

SEDIMENT POND

NTS

1

C3.00



EMERGENCY OVERFLOW
SPILLWAY DETAIL

NTS

2

--

COMPLETE TESC PLAN AND DETAILS TO BE PROVIDED
WITH CONSTRUCTION DOCUMENTATION
(ENGINEERING SUBMITTAL).

1	09/2025	RAG	JRN	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL	DRAWN BY RAG	DESIGNED BY JRN
2	03/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 1	CHECKED BY EKC	APPROVED BY JSF
3	05/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 2	DATE OCTOBER 9, 2026	
4	06/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 3		
NO.	DATE	BY	CHD.	APPR.	REVISION	JOB No.: 2500156	

CALL TWO BUSINESS
DAYS BEFORE YOU DIG
1-800-424-5555

SCALE:
AS NOTED

kpff

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

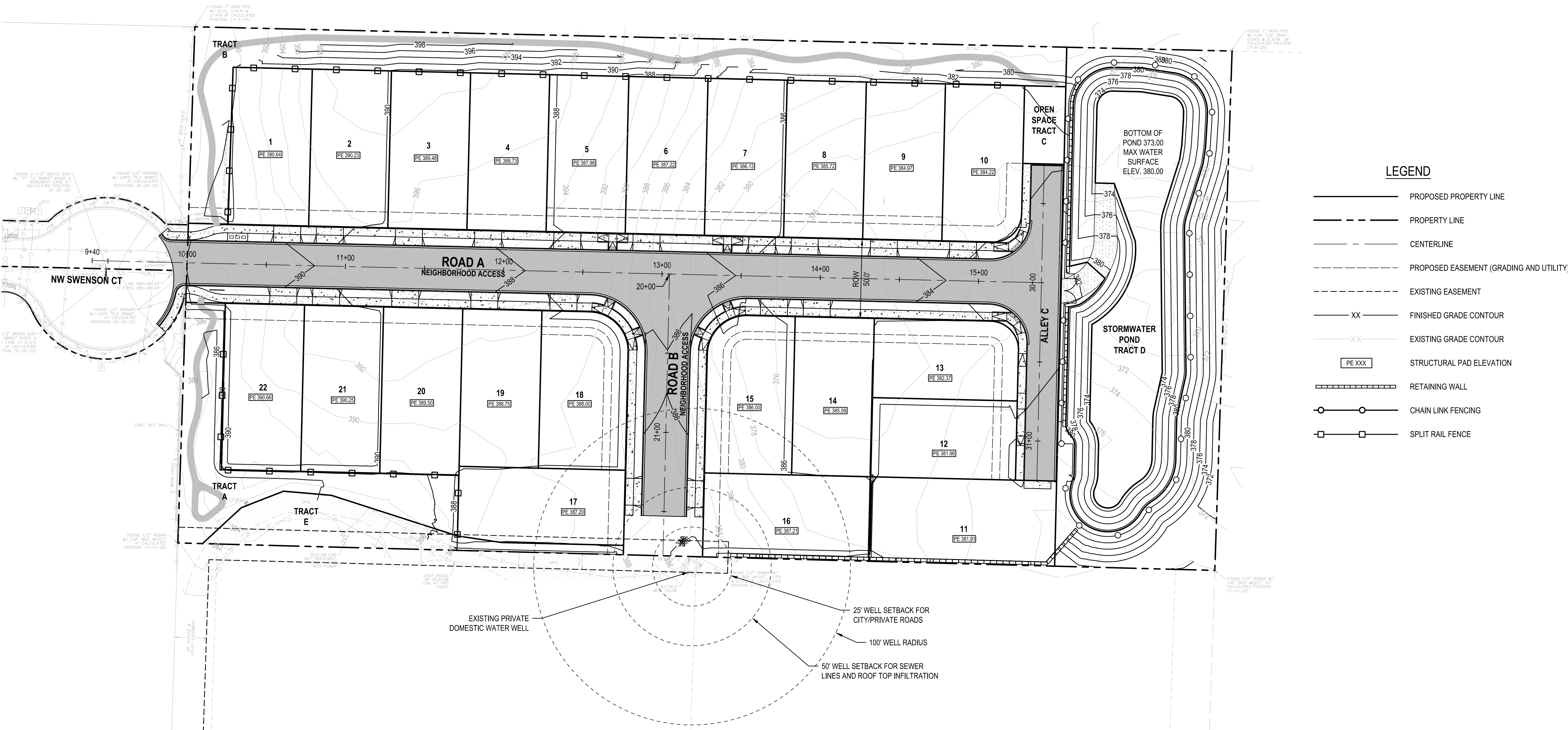


CEDARVIEW AT GLENNWOOD PLANNED RESIDENTIAL DEVELOPMENT
POULSBORO, WASHINGTON

TESC DETAILS

SHEET

C3.11



- NOTES:**
1. PROPOSED ROAD SLOPES DO NOT EXCEED THE COP CODE SPECIFIED 12% MAX SLOPE.
 2. A MAXIMUM SLOPE OF 2:1 IS USED FOR ALL GRADE TRANSITIONS OUTSIDE OF THE PROPOSED ROADWAY.

Z:\2500001-2509999\2500156_Engis_Plan\CD00\Design\Plan\FG-PP-C4.00-00.dwg
Jun 04, 2026 - 5:06pm
molly.hoole

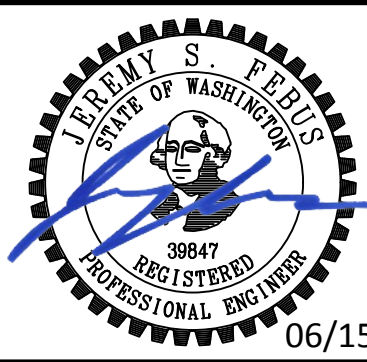
1	09/2025	RAG	JRN	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL	DRAWN BY RAG	DESIGNED BY JRN
2	03/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 1	CHECKED BY EKC	APPROVED BY JSF
3	05/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 2	DATE OCTOBER 9, 2026	
4	06/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 3		
NO.	DATE	BY	CHD.	APPR.	REVISION	JOB No.: 2500156	

CALL TWO BUSINESS
DAYS BEFORE YOU DIG
1-800-424-5555

SCALE:
AS NOTED



1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

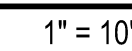
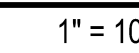
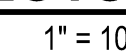


CEDARVIEW AT GLENNWOOD PLANNED RESIDENTIAL DEVELOPMENT
POULSBO, WASHINGTON

OVERALL GRADING PLAN

SHEET

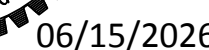
C4.00



CALL TWO BUSINESS
DAYS BEFORE YOU DIG
1-800-424-5555

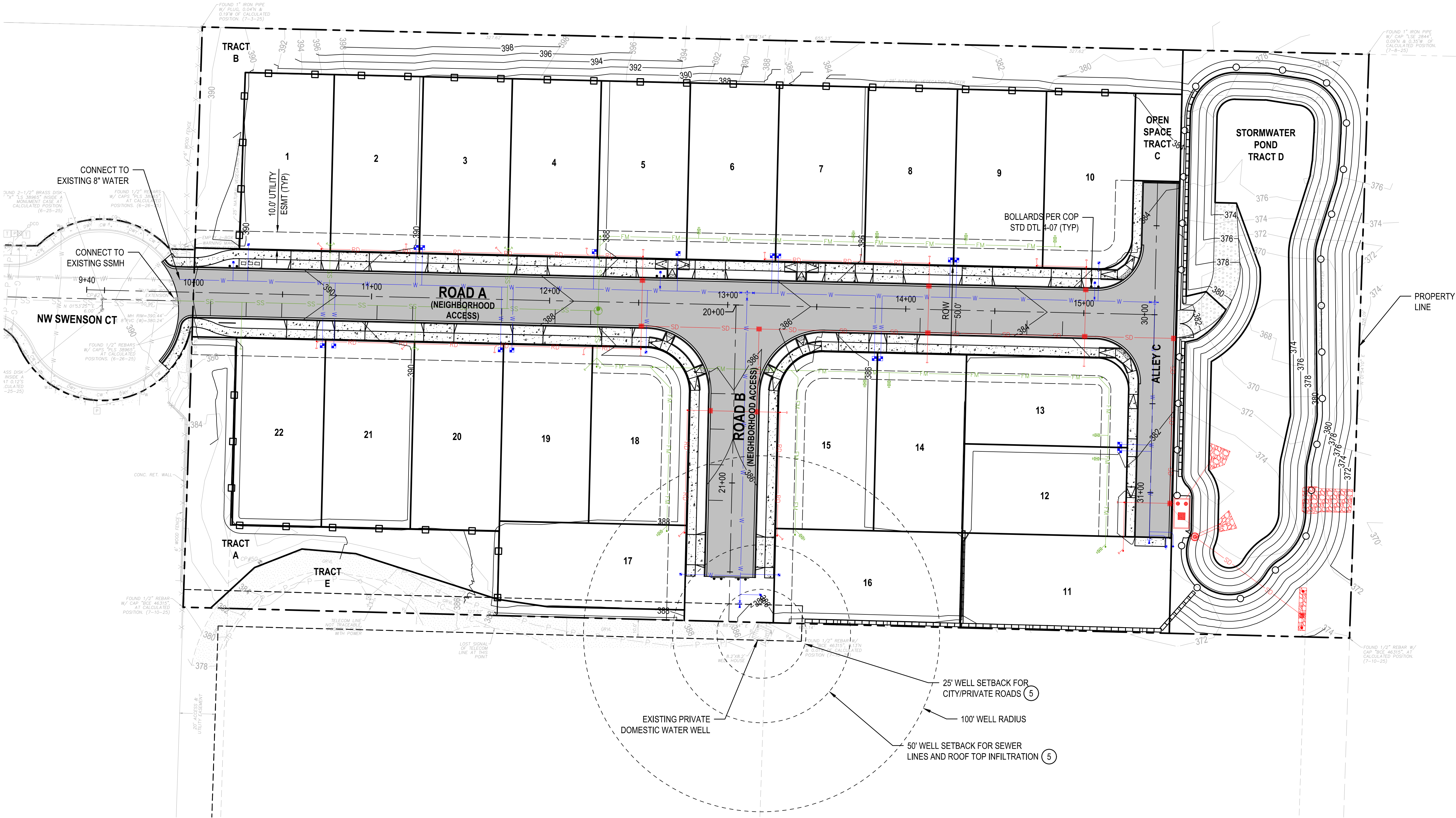
SCALE:
AS NOTED

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com



SHEET

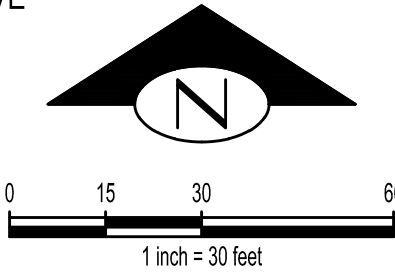
C4.10



OLYMPIC COLLEGE SITE

LEGEND

- PROPOSED PROPERTY LINE
- PROPERTY LINE
- CENTERLINE
- PROPOSED UTILITY EASEMENT (4)
- XX FINISHED GRADE CONTOUR
- XX EXISTING GRADE CONTOUR
- SD STORM DRAIN LINE
- RD ROOF DRAIN
- SF SEWER FORCE MAIN
- WM WATER MAIN
- 4\"/>
- SPLIT RAIL FENCE
- TYPE 1 CATCH BASIN
- TYPE 2 CATCH BASIN
- SEWER PUMP
- SEWER CLEANOUT
- WATER METER
- FIRE HYDRANT
- BLOW OFF VALVE
- AIR RELEASE VALVE
- GATE VALVE



NOTES:

- LOCATION AND ELEVATION OF PROPOSED UTILITY CONNECTIONS WILL BE VERIFIED DURING CONSTRUCTION PLAN PREPARATION.
- A FULL STORM WATER CONVEYANCE ANALYSIS WILL BE PROVIDED DURING CONSTRUCTION DOCUMENT PREPARATION. PIPE AND STRUCTURE SIZES WILL BE UPDATED AT THAT TIME.
- WATER QUALITY TREATMENT FOR THE ONSITE STORMWATER SHALL BE PROVIDED USING A WATER QUALITY VAULT UPSTREAM OF DETENTION.
- PROPOSED UTILITY EASEMENTS FOR PUBLIC WATER, SEWER, STORM WATER AND FRANCHISE UTILITIES SHALL ALL BE 10' (TYP) UNLESS OTHERWISE NOTED.
- PRIVATE DOMESTIC WELL SETBACKS REQUIRED BY THE KITSAP PUBLIC HEALTH DISTRICT ARE MAPPED FROM THE CENTER OF THE SURVEYED WELL HOUSE.
- SEWER FORCE MAIN AND SERVICES SHALL BE LOCATED BELOW THE PROPOSED WATER MAIN.
- RESTRAINED JOINT PIPE REQUIRED FOR WATER MAIN CONSTRUCTED IN FILL.
- KPUD STANDARDS APPLY TO WATER MAIN DESIGN AND INSTALLATION.

1	09/2025	RAG	JRN	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL	DRAWN BY RAG	DESIGNED BY JRN
2	03/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 1	CHECKED BY EKC	APPROVED BY JSF
3	05/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 2	DATE OCTOBER 9, 2026	
4	06/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 3		
NO.	DATE	BY	CHD.	APPR.	REVISION	JOB No.: 2500156	

CALL TWO BUSINESS DAYS BEFORE YOU DIG 1-800-424-5555
SCALE: AS NOTED

kpff

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com



06/15/2026

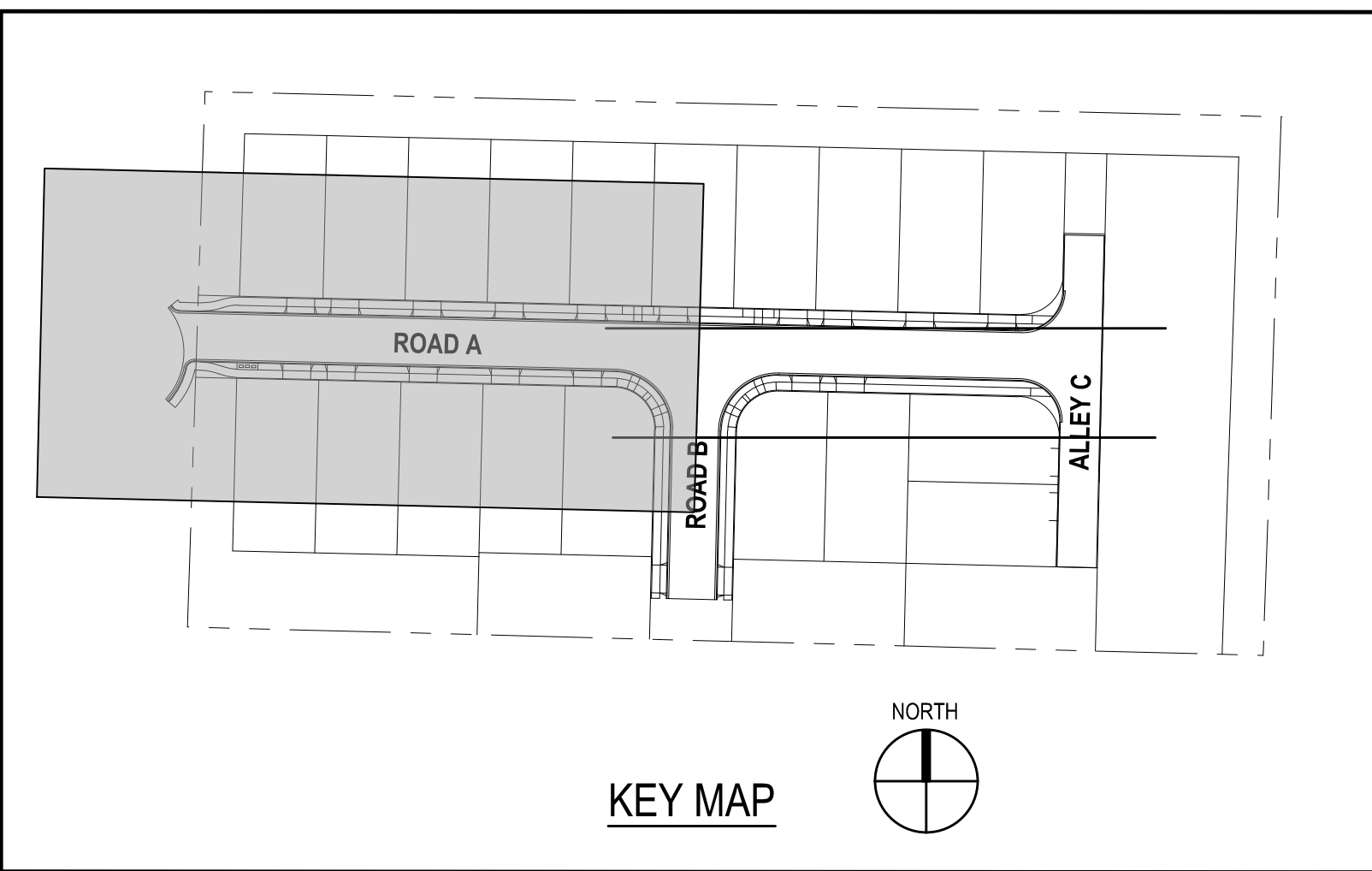
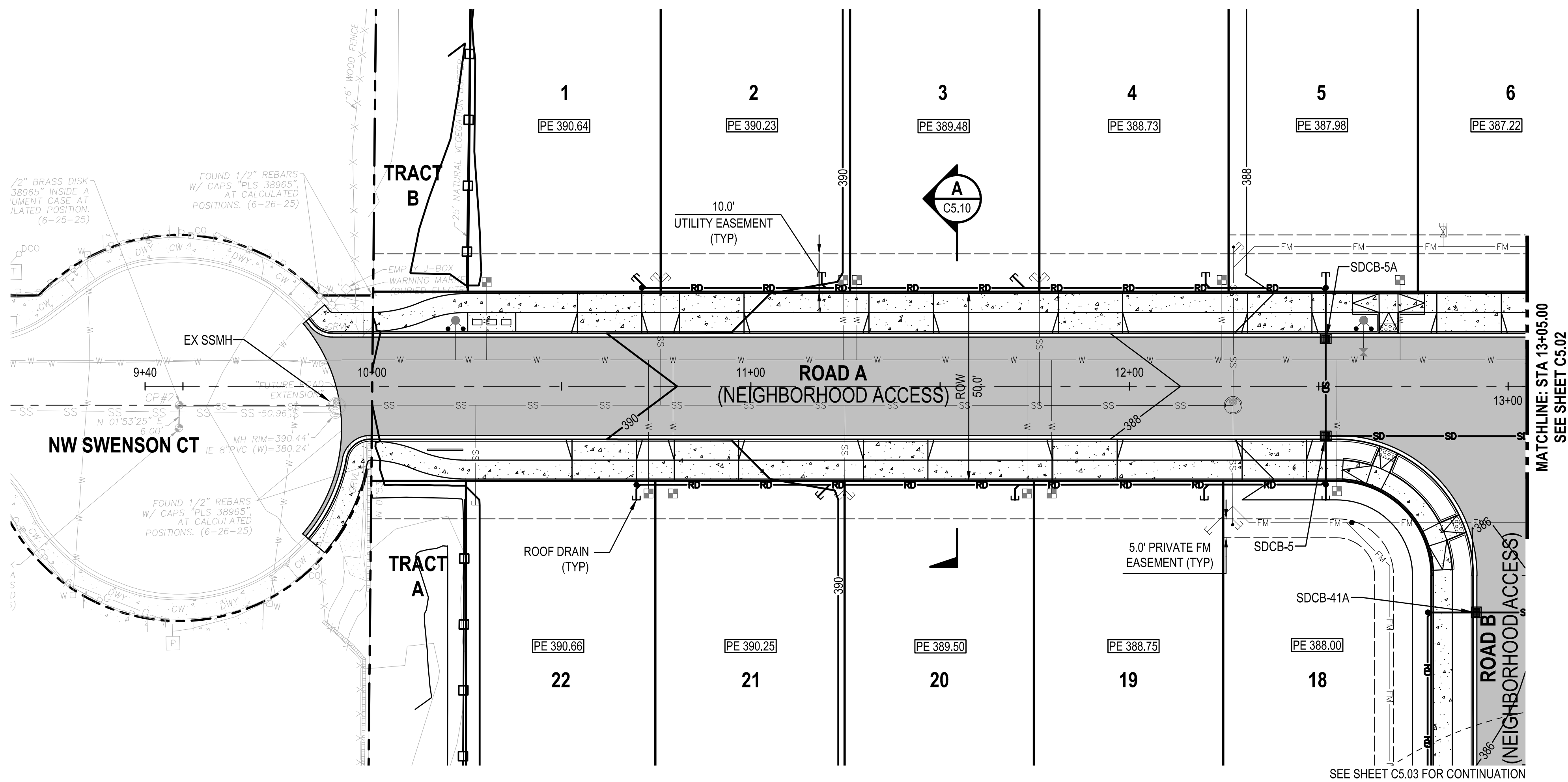
CEDARVIEW AT GLENNWOOD PLANNED RESIDENTIAL DEVELOPMENT
POULSBO, WASHINGTON

OVERALL UTILITY PLAN

SHEET

C5.00

NW1/4, SEC. 10, TWP. 26 N., RGE. 1 E., W.M.

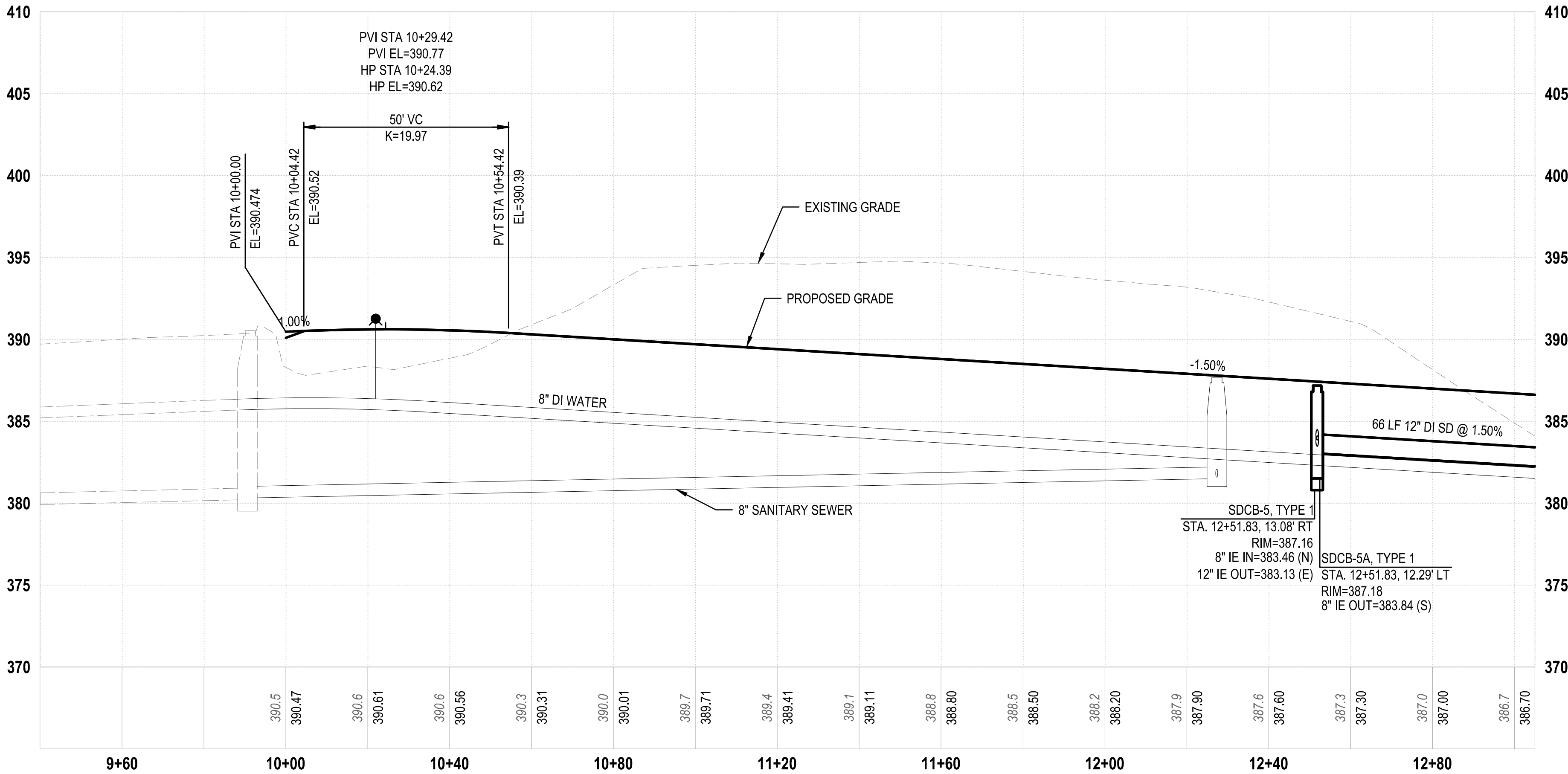


LEGEND

- PROPOSED PROPERTY LINE
- PROPERTY LINE
- CENTERLINE
- PROPOSED EASEMENT
- STORM DRAIN LINE
- ROOF DRAIN
- WATER MAIN
- SEWER MAIN
- SEWER PUMP
- FIRE HYDRANT
- TYPE 1 CATCH BASIN
- TYPE 2 CATCH BASIN
- FINISHED GRADE CONTOUR
- EXISTING GRADE CONTOUR
- WALL (LOCK AND LOAD)
- SPLIT RAIL FENCE
- 4' FALL PROTECTION FENCE
- CONCRETE PAVING
- ASPHALT PAVING

NOTES

- LOCATION AND ELEVATION OF PROPOSED UTILITY CONNECTIONS WILL BE VERIFIED DURING CONSTRUCTION PLAN PREPARATION.



Z:\2500001-2509999\2500156_Engis_Plan\CAD\Design\Plan\FC-PP-C5.01-SD-PP.dwg
Jun 04, 2026 - 5:07pm
mofy/loole

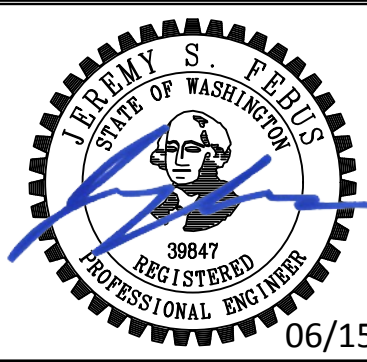
1	09/2025	RAG	JRN	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL
2	03/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 1
3	05/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 2
4	06/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 3
NO.	DATE	BY	CHD.	APPR.	REVISION

DRAWN BY RAG	DESIGNED BY JRN
CHECKED BY EKC	APPROVED BY JSF
DATE OCTOBER 9, 2026	
JOB No.: 2500156	

CALL TWO BUSINESS DAYS BEFORE YOU DIG 1-800-424-5555
SCALE: AS NOTED

kpff

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

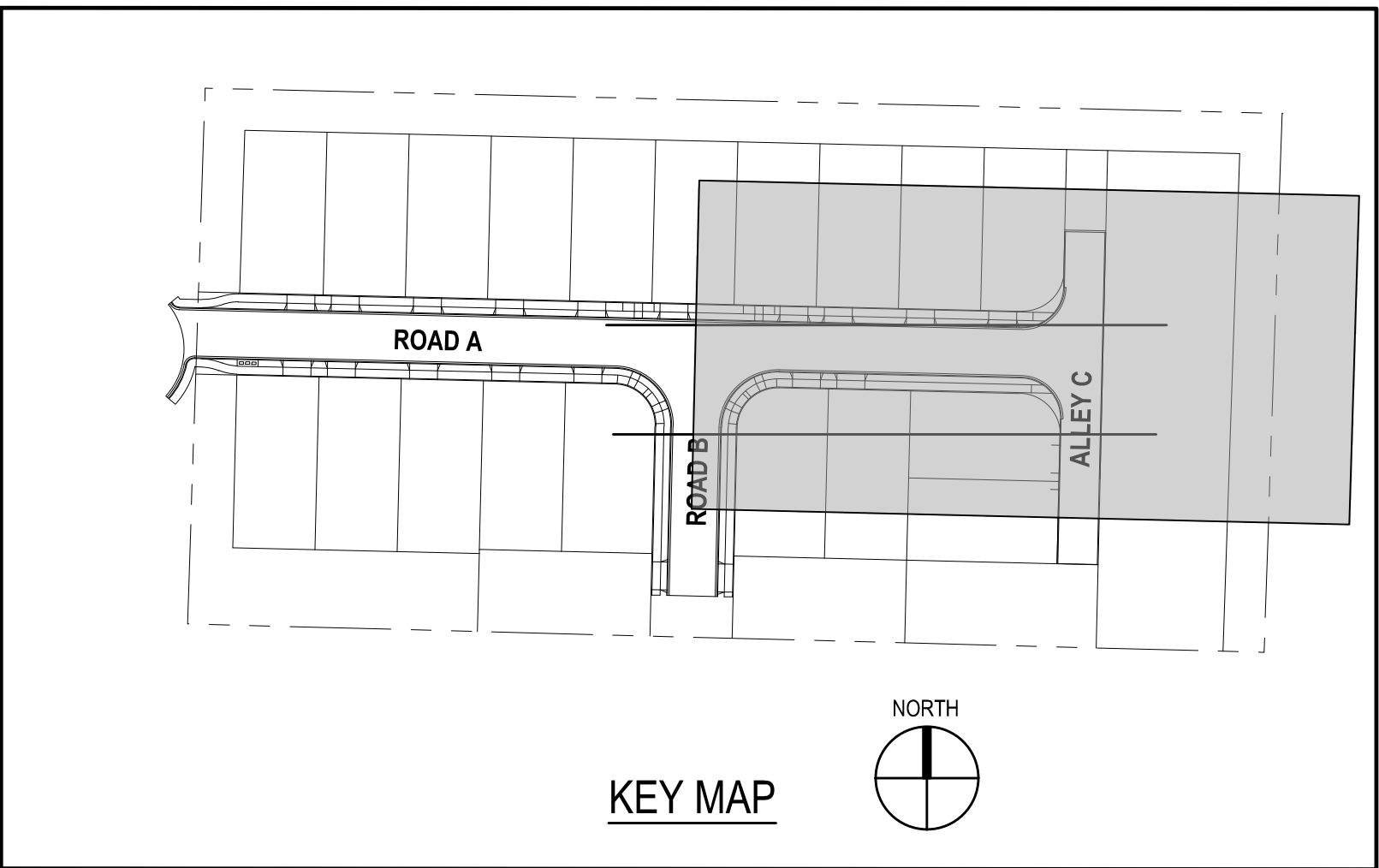
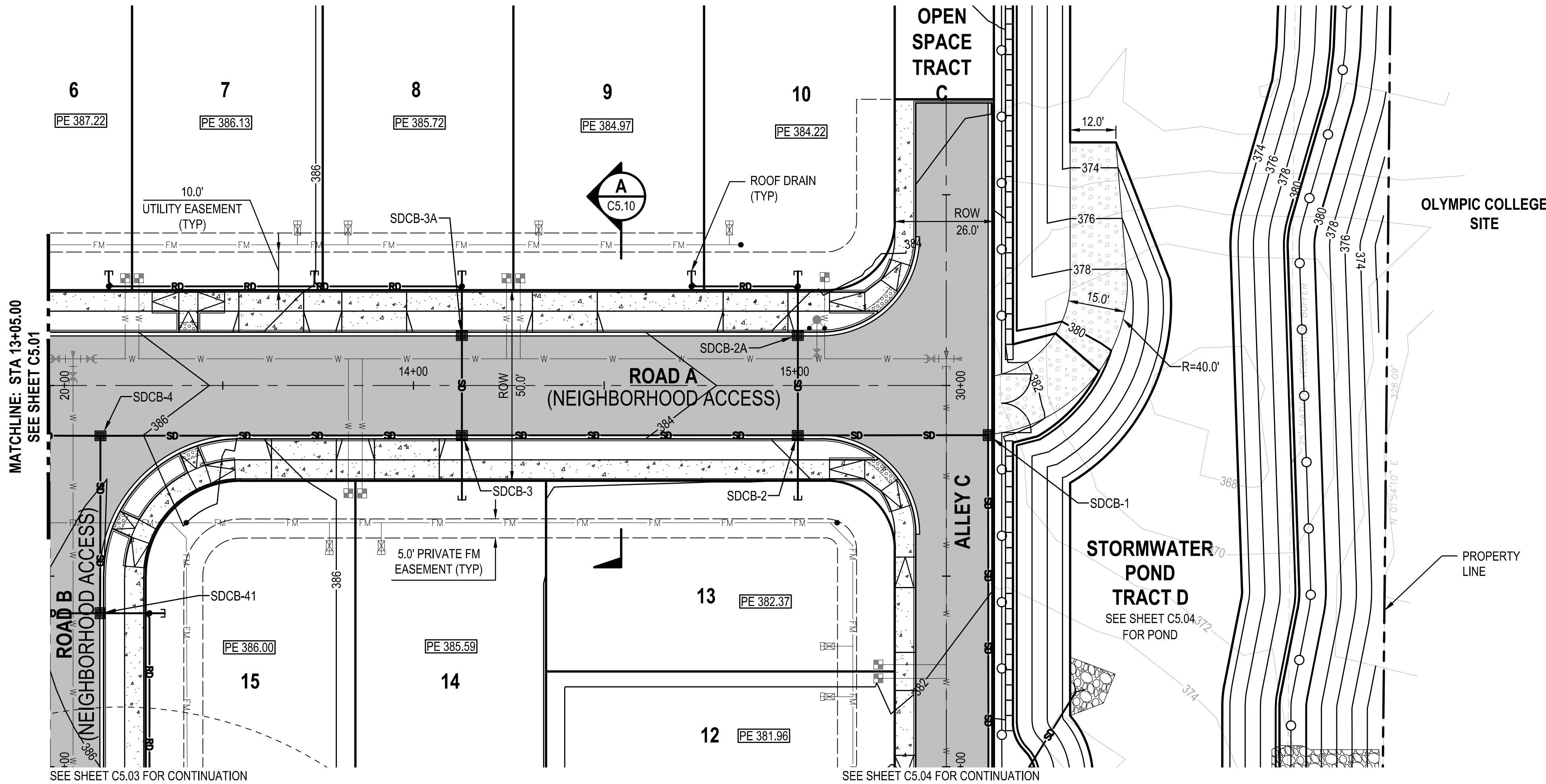


CEDARVIEW AT GLENNWOOD PLANNED RESIDENTIAL DEVELOPMENT
POULSBO, WASHINGTON

ROAD A STORM DRAINAGE PLAN & PROFILE

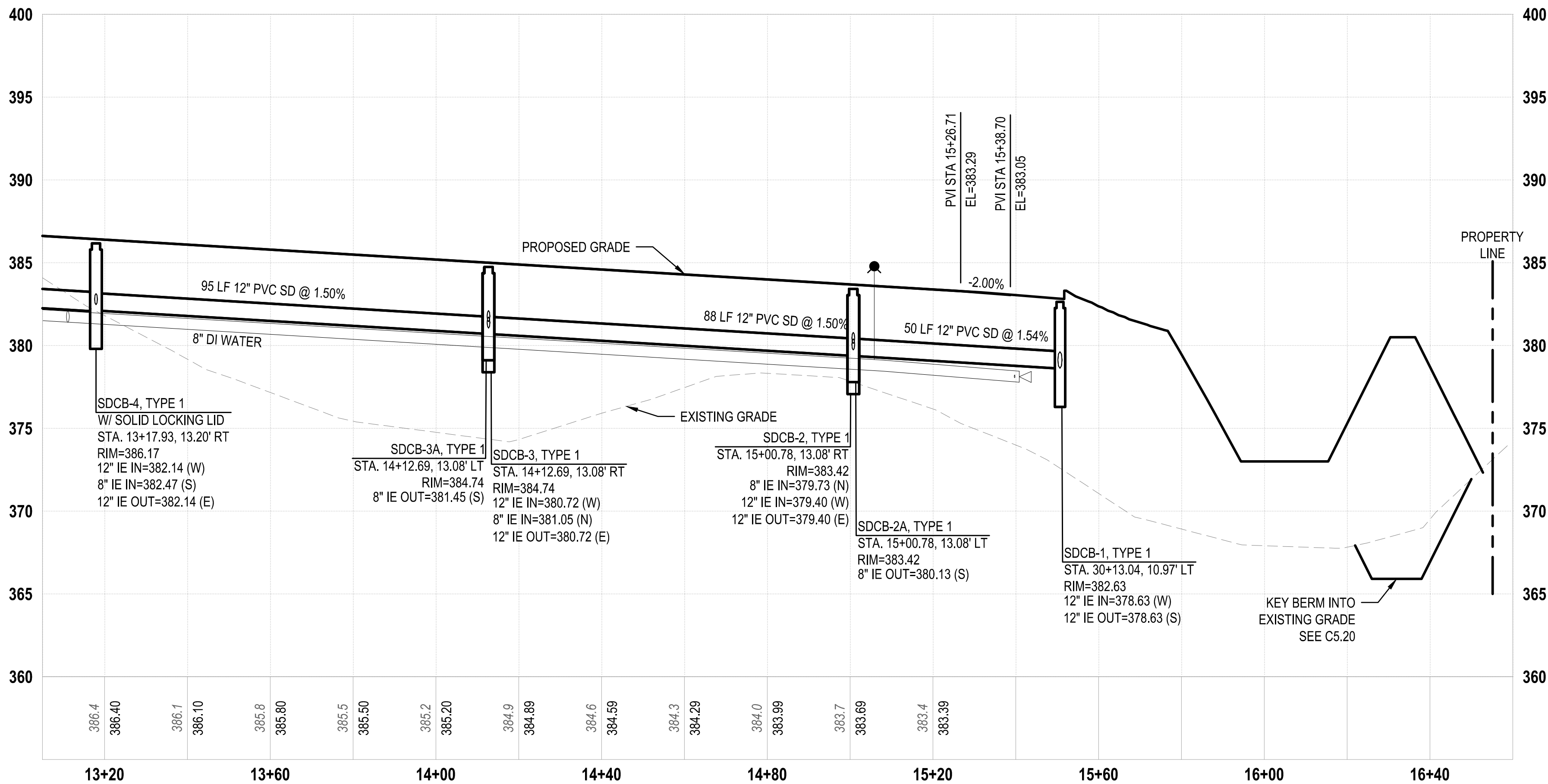
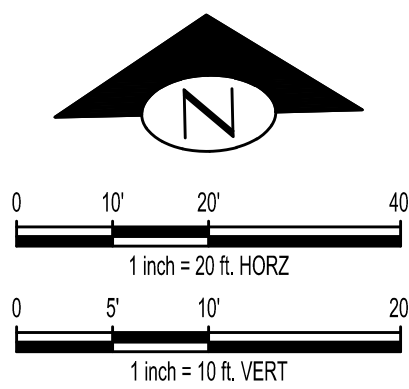
SHEET

C5.01



- LEGEND**
- PROPOSED PROPERTY LINE
 - PROPERTY LINE
 - CENTERLINE
 - PROPOSED EASEMENT
 - STORM DRAIN LINE
 - ROOF DRAIN
 - WATER MAIN
 - SEWER MAIN
 - SEWER PUMP
 - FIRE HYDRANT
 - TYPE 1 CATCH BASIN
 - TYPE 2 CATCH BASIN
 - FINISHED GRADE CONTOUR
 - EXISTING GRADE CONTOUR
 - WALL (LOCK AND LOAD)
 - SPLIT RAIL FENCE
 - 4' FALL PROTECTION FENCE
 - CONCRETE PAVING
 - ASPHALT PAVING

- NOTES**
- LOCATION AND ELEVATION OF PROPOSED UTILITY CONNECTIONS WILL BE VERIFIED DURING CONSTRUCTION PLAN PREPARATION.



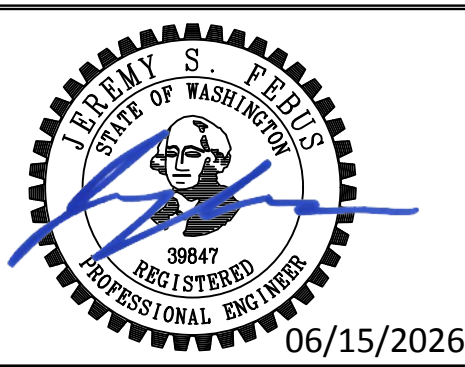
1	09/2025	RAG	JRN	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL	DRAWN BY RAG	DESIGNED BY JRN
2	03/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 1	CHECKED BY EKC	APPROVED BY JSF
3	05/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 2		
4	06/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 3		
						DATE OCTOBER 9, 2026	
NO.	DATE	BY	CHD.	APPR.	REVISION	JOB No.: 2500156	

CALL TWO BUSINESS
DAYS BEFORE YOU DIG
1-800-424-5555

kpff

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

SCALE:
AS NOTED

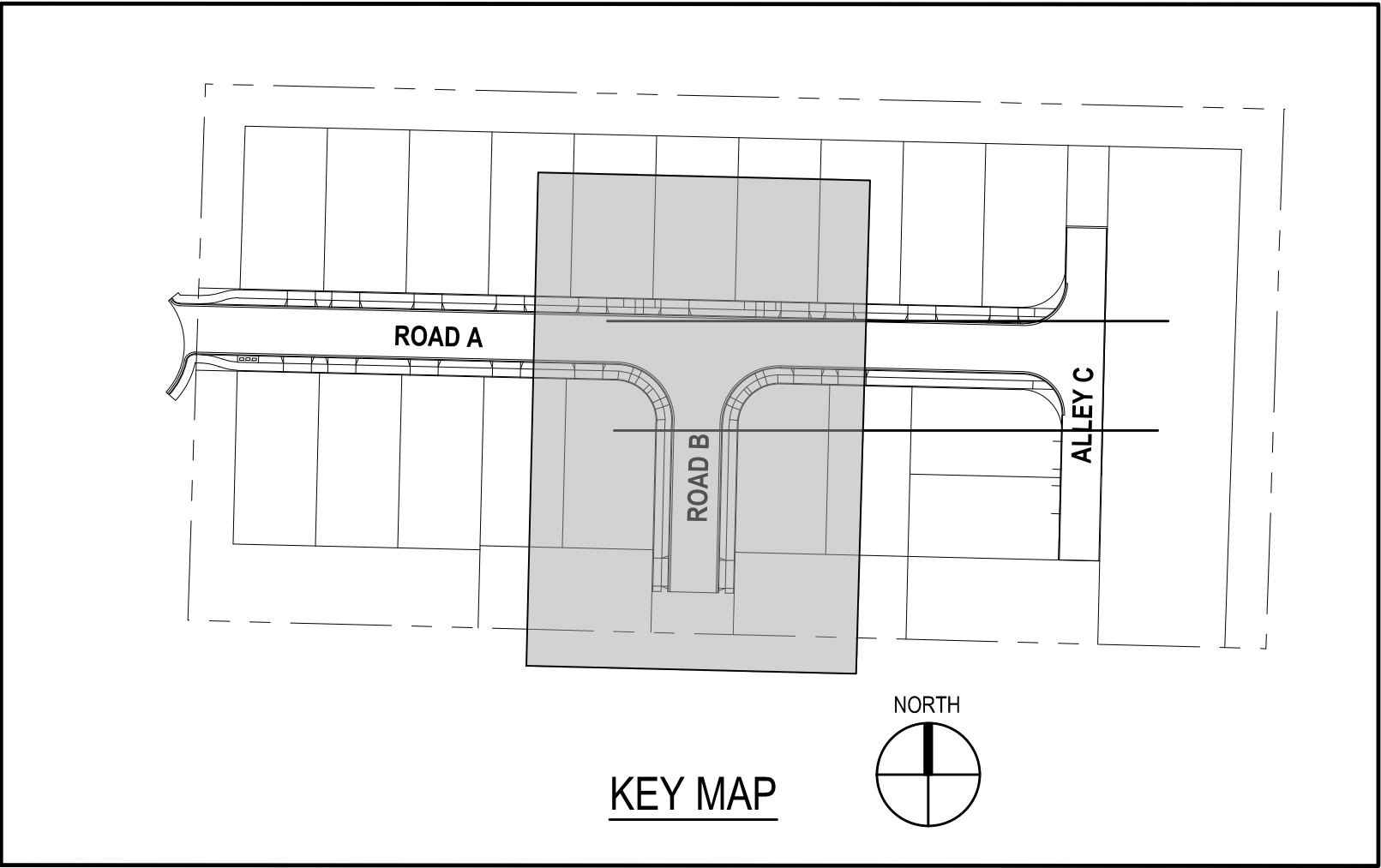
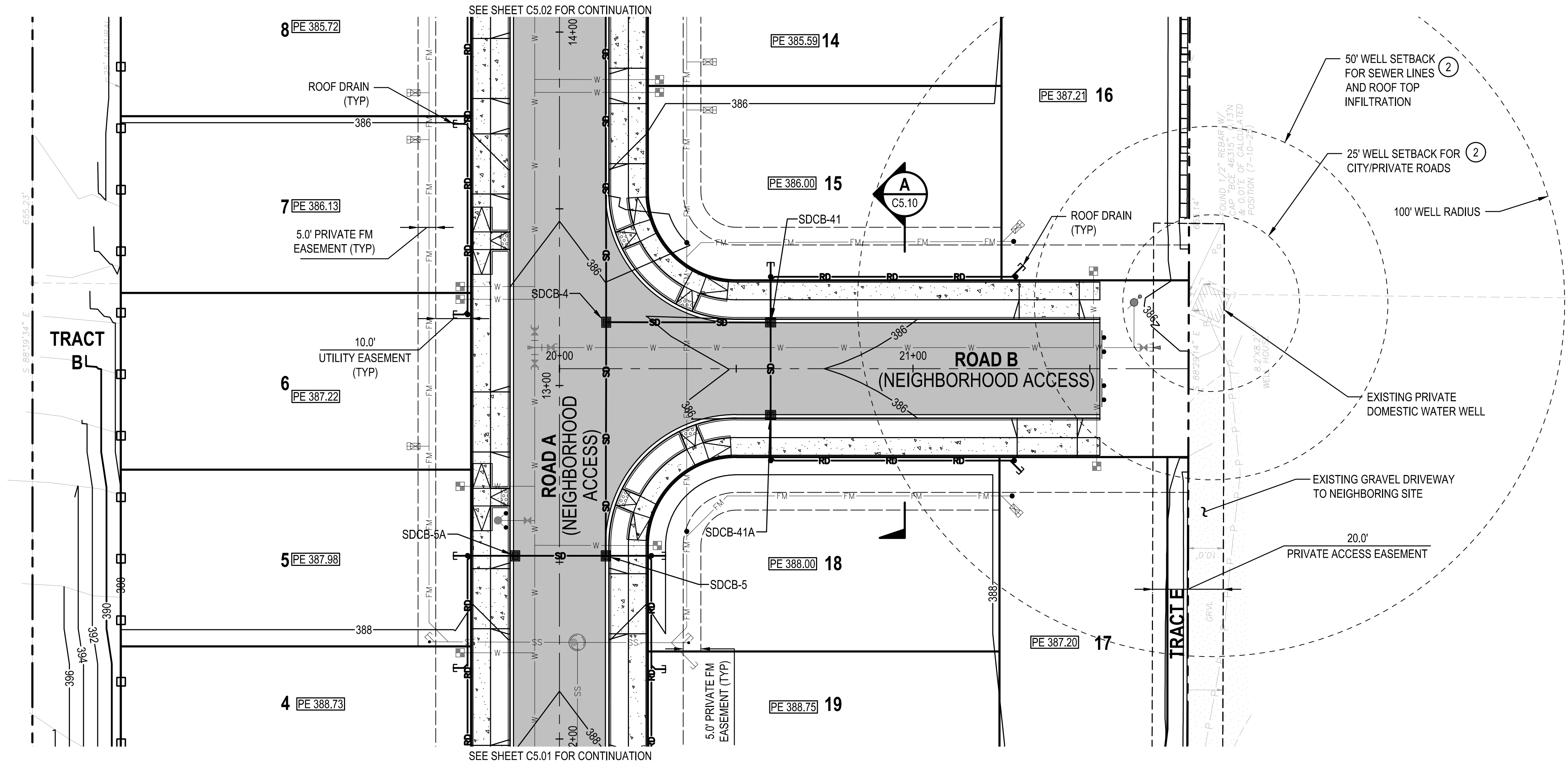


CEDARVIEW AT GLENNWOOD PLANNED RESIDENTIAL DEVELOPMENT
POULSBO, WASHINGTON

ROAD A STORM DRAINAGE PLAN & PROFILE

SHEET

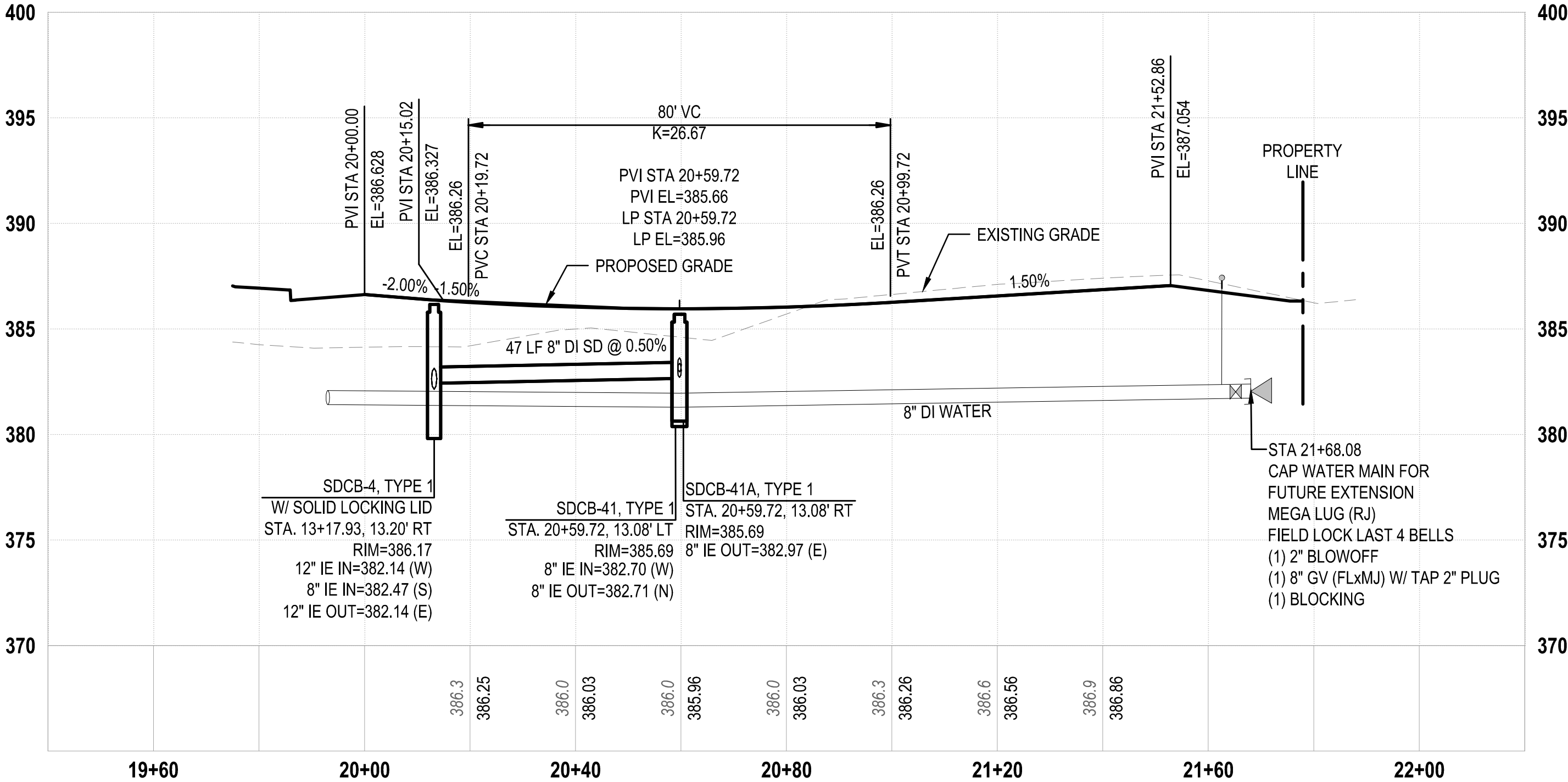
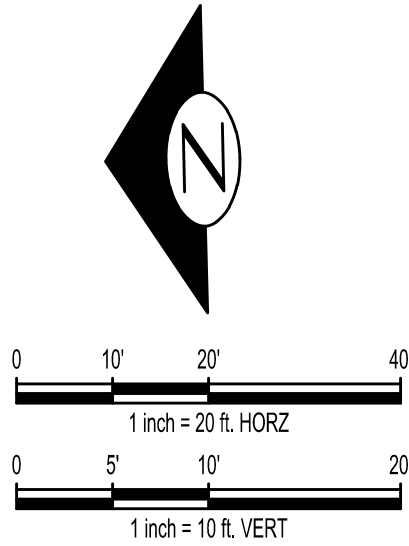
C5.02



- LEGEND**
- PROPOSED PROPERTY LINE
 - PROPERTY LINE
 - CENTERLINE
 - PROPOSED EASEMENT
 - STORM DRAIN LINE
 - ROOF DRAIN
 - WATER MAIN
 - SEWER MAIN
 - SEWER PUMP
 - FIRE HYDRANT
 - TYPE 1 CATCH BASIN
 - TYPE 2 CATCH BASIN
 - FINISHED GRADE CONTOUR
 - EXISTING GRADE CONTOUR
 - WALL (LOCK AND LOAD)
 - SPLIT RAIL FENCE
 - 4' FALL PROTECTION FENCE
 - CONCRETE PAVING
 - ASPHALT PAVING

NOTES

- LOCATION AND ELEVATION OF PROPOSED UTILITY CONNECTIONS WILL BE VERIFIED DURING CONSTRUCTION PLAN PREPARATION.
- PRIVATE DOMESTIC WELL SETBACKS REQUIRED BY THE KITSAP PUBLIC HEALTH DISTRICT ARE MAPPED FROM THE CENTER OF THE SURVEYED WELL HOUSE.



Z:\2500001-2509999\2500156_Engis_Plan\CD\Design\Plan\FG-PP-C5.01-SD-PP.dwg
Jun 04, 2026 - 5:07pm
modj/loc

1	09/2025	RAG	JRN	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL
2	03/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 1
3	05/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 2
4	06/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 3
NO.	DATE	BY	CHD.	APPR.	REVISION

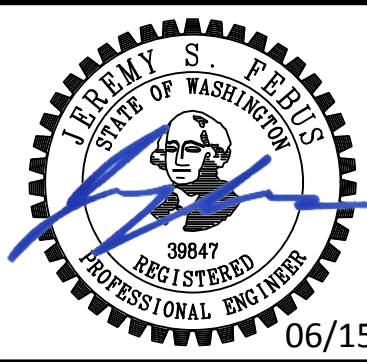
DRAWN BY	DESIGNED BY
RAG	JRN
CHECKED BY	APPROVED BY
EKC	JSF
DATE	
OCTOBER 9, 2026	
JOB No.:	2500156

CALL TWO BUSINESS
DAYS BEFORE YOU DIG
1-800-424-5555

SCALE:
AS NOTED

kpff

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

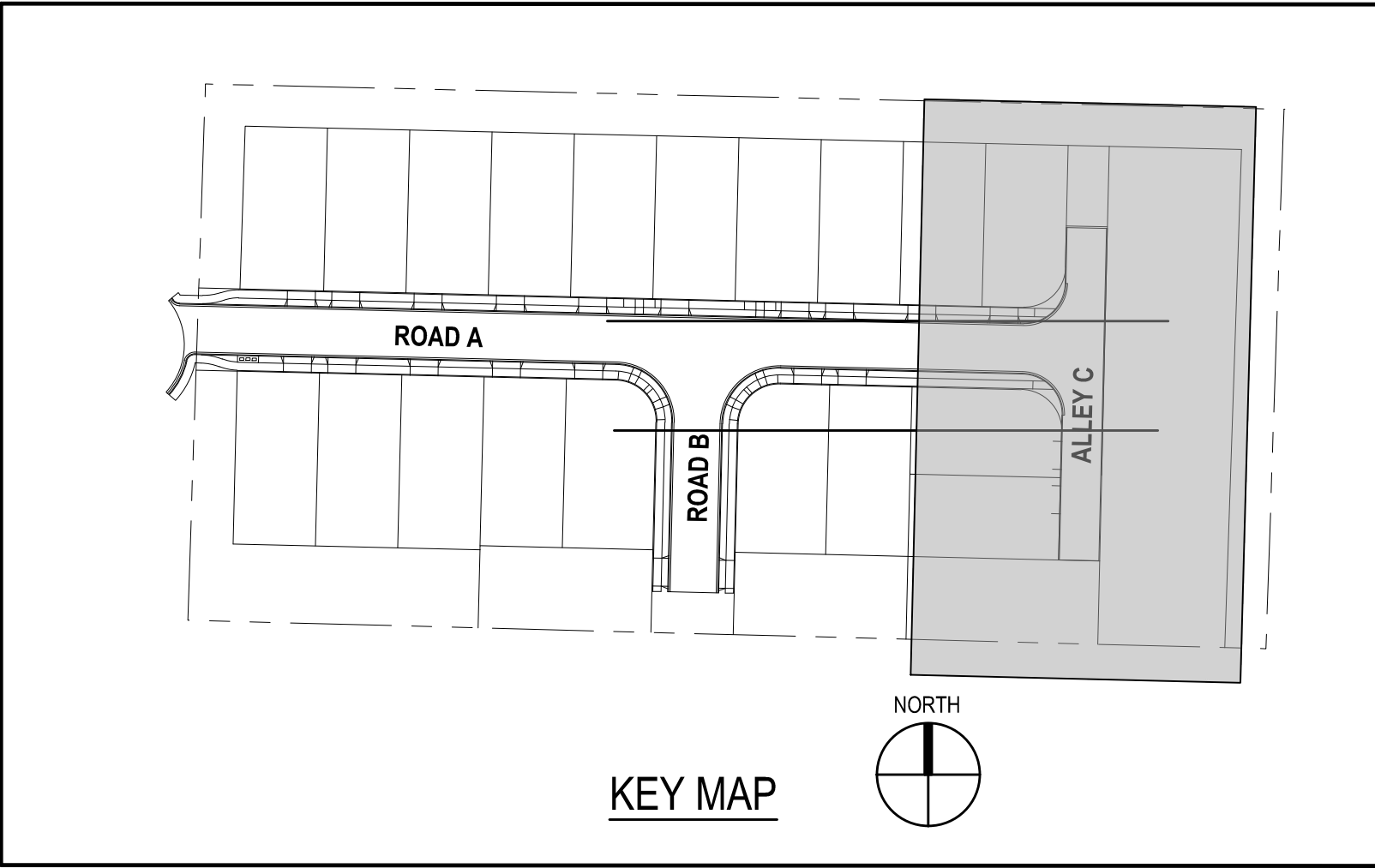
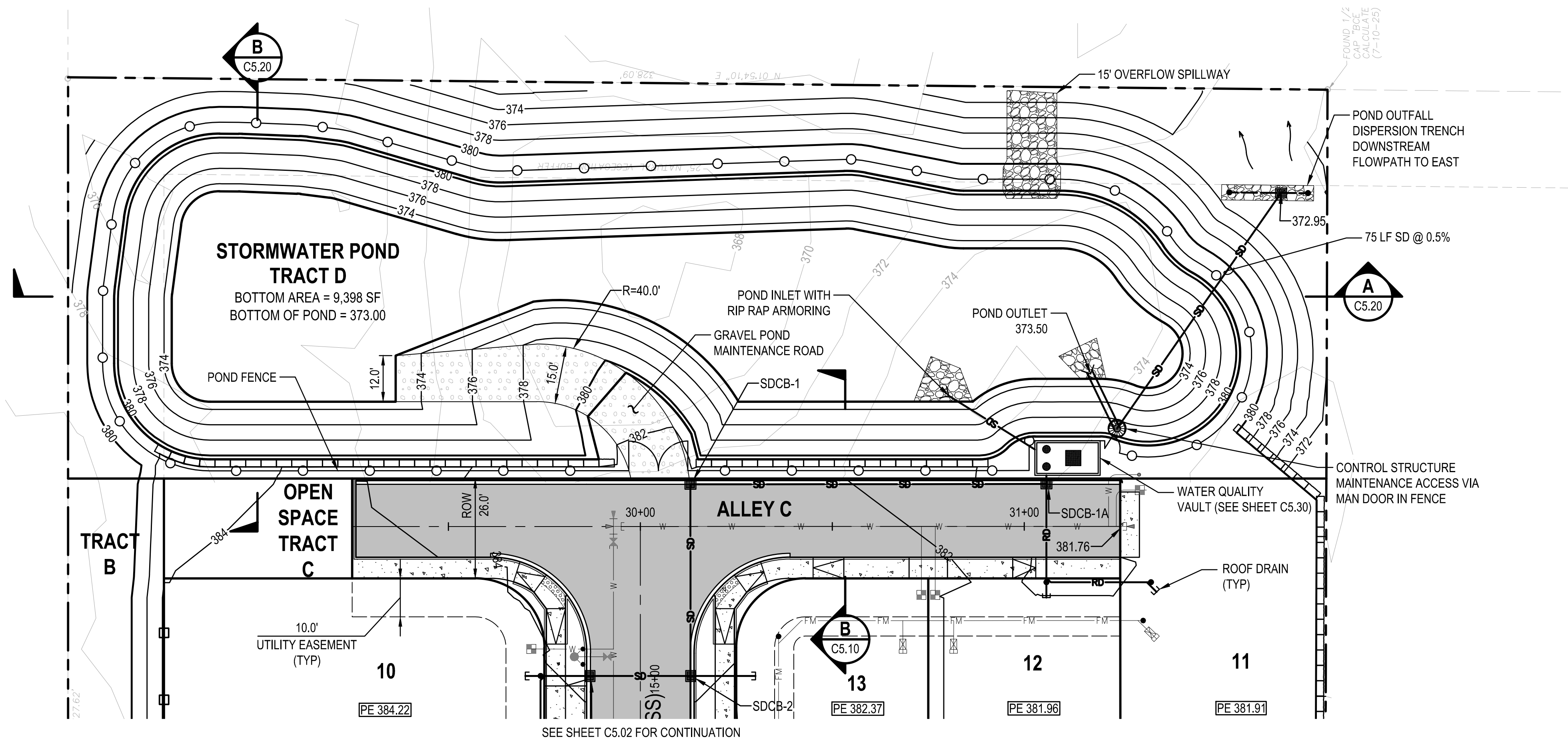


CEDARVIEW AT GLENNWOOD PLANNED RESIDENTIAL DEVELOPMENT
POULSBO, WASHINGTON

ROAD B STORM DRAINAGE PLAN & PROFILE

SHEET

C5.03



LEGEND

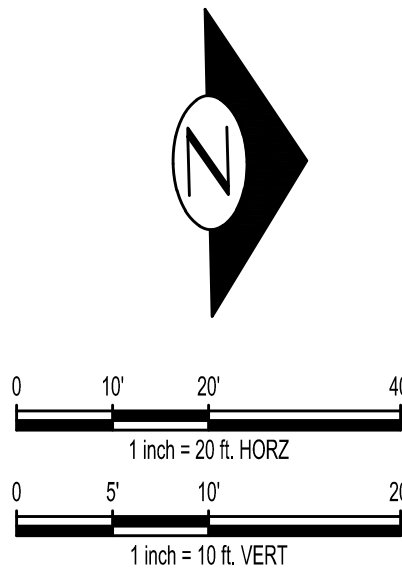
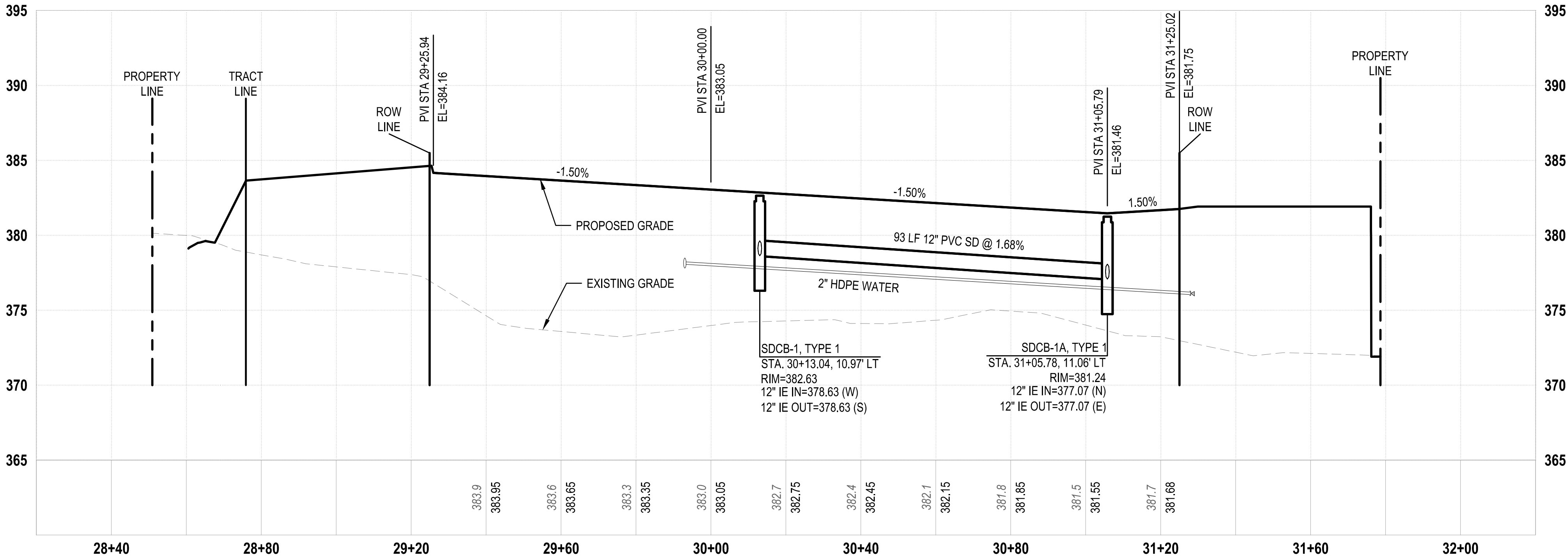
- PROPOSED PROPERTY LINE
- PROPERTY LINE
- CENTERLINE
- PROPOSED EASEMENT
- STORM DRAIN LINE
- ROOF DRAIN
- WATER MAIN
- SEWER MAIN
- SEWER PUMP
- FIRE HYDRANT
- TYPE 1 CATCH BASIN
- TYPE 2 CATCH BASIN
- FINISHED GRADE CONTOUR
- EXISTING GRADE CONTOUR
- WALL (LOCK AND LOAD)
- 4' FALL PROTECTION FENCE
- CONCRETE PAVING
- ASPHALT PAVING

NOTES

- LOCATION AND ELEVATION OF PROPOSED UTILITY CONNECTIONS WILL BE VERIFIED DURING CONSTRUCTION PLAN PREPARATION.
- FULL POND CONSTRUCTION DETAILS WILL BE PROVIDED WITH CONSTRUCTION DOCUMENTS.
- DETENTION POND MAINTENANCE ACCESS SHALL BE FROM A SHARED MAINTENANCE ROAD.
- DETENTION POND CONTROL STRUCTURE SHALL BE A 24" DIAMETER STANDPIPE WITH ORIFICES PER THE FOLLOWING TABLE:

CONTROL STRUCTURE ORIFICE TABLE

ORIFICE	INVERT ELEVATION	SIZE
CIRCULAR ORIFICE 1	371.50 (2' DEEP IN SUMP)	1 1/2" DIAMETER
CIRCULAR ORIFICE 2	377.56	1 3/4" DIAMETER
CIRCULAR ORIFICE 3	378.50	1 5/8" DIAMETER
RISER CREST	380.00 (OVERFLOW)	12" DIAMETER



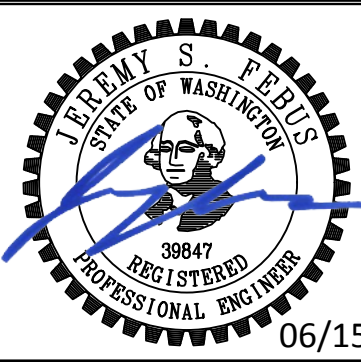
1	09/2025	RAG	JRN	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL
2	03/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 1
3	05/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 2
4	06/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 3
NO.	DATE	BY	CHD.	APPR.	REVISION

DRAWN BY RAG	DESIGNED BY JRN
CHECKED BY EKC	APPROVED BY JSF
DATE OCTOBER 9, 2026	
JOB No.: 2500156	

CALL TWO BUSINESS DAYS BEFORE YOU DIG 1-800-424-5555
SCALE: AS NOTED

kpff

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

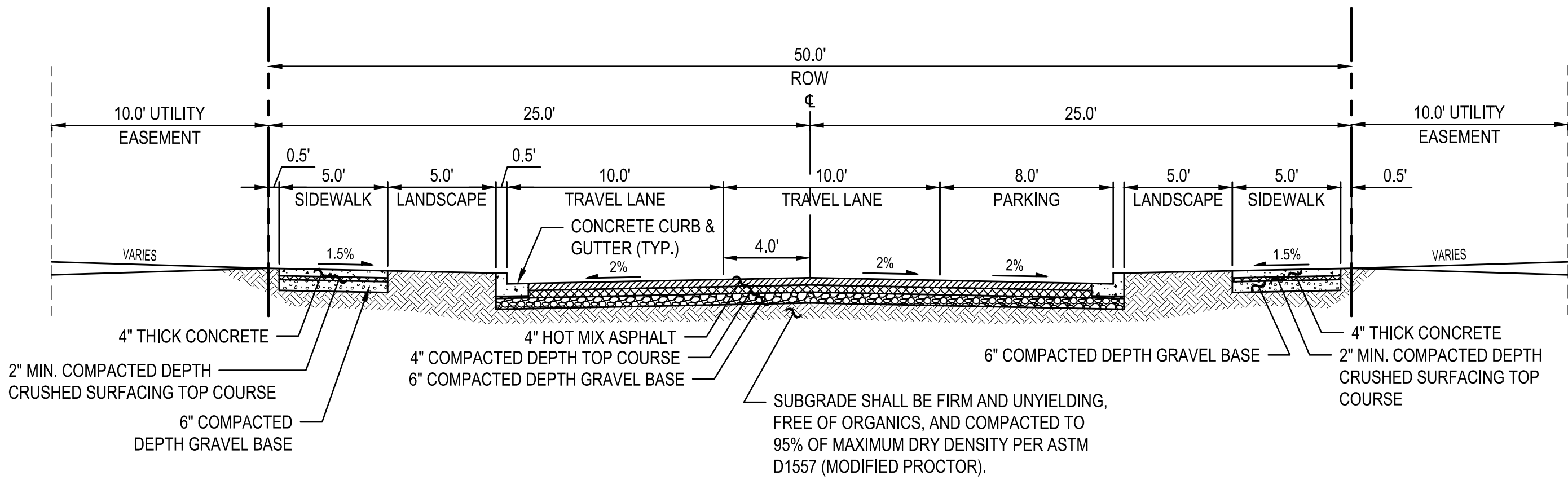


CEDARVIEW AT GLENNWOOD PLANNED RESIDENTIAL DEVELOPMENT
POULSBO, WASHINGTON

ALLEY C STORM DRAINAGE PLAN & PROFILE

SHEET

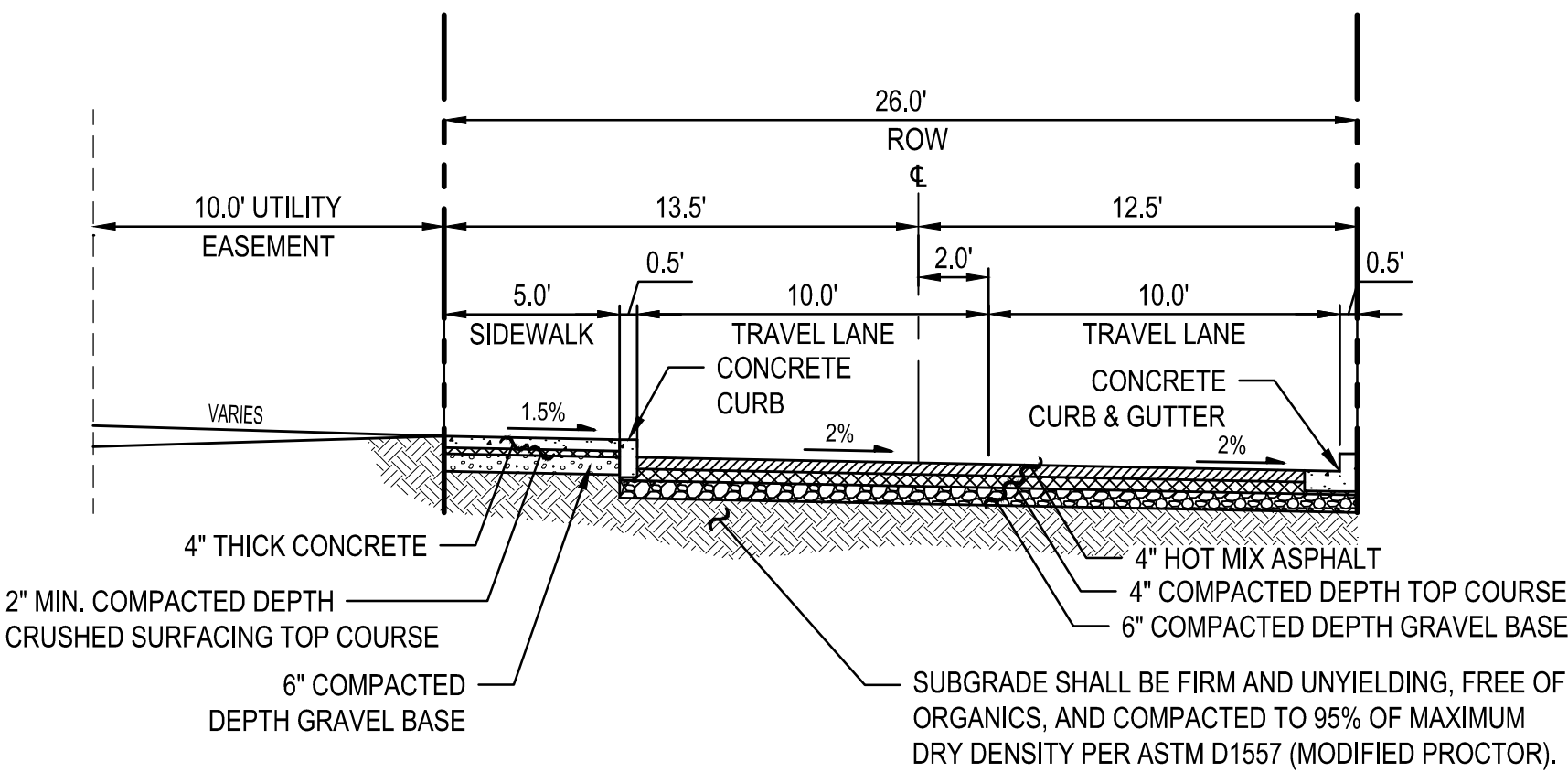
C5.04



TYPICAL ROAD A, B SECTION

1"=5'

A
C5.01-C5.03



TYPICAL ALLEY C SECTION

1"=5'

B
C5.04

Jun 04, 2026 - 5:07pm
Z:\2500001-2509999\2500156_Engis_Plan\CAD\Design\Plan\FIG-PP-C5.10-RS.dwg
molly.locke

1	09/2025	RAG	JRN	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL	DRAWN BY RAG	DESIGNED BY JRN
2	03/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 1	CHECKED BY EKC	APPROVED BY JSF
3	05/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 2	DATE OCTOBER 9, 2026	
4	06/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 3		
NO.	DATE	BY	CHD.	APPR.	REVISION	JOB No.: 2500156	

CALL TWO BUSINESS
DAYS BEFORE YOU DIG
1-800-424-5555

SCALE:
AS NOTED

kpff

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

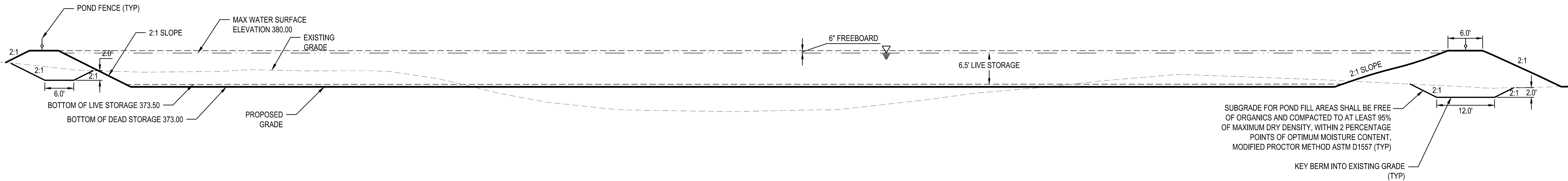
STATE OF WASHINGTON
JULIE S. PETERSON
REGISTERED PROFESSIONAL ENGINEER
39847
06/15/2026

CEDARVIEW AT GLENNWOOD PLANNED RESIDENTIAL DEVELOPMENT
POULSBORO, WASHINGTON

TYPICAL ROAD SECTIONS

SHEET

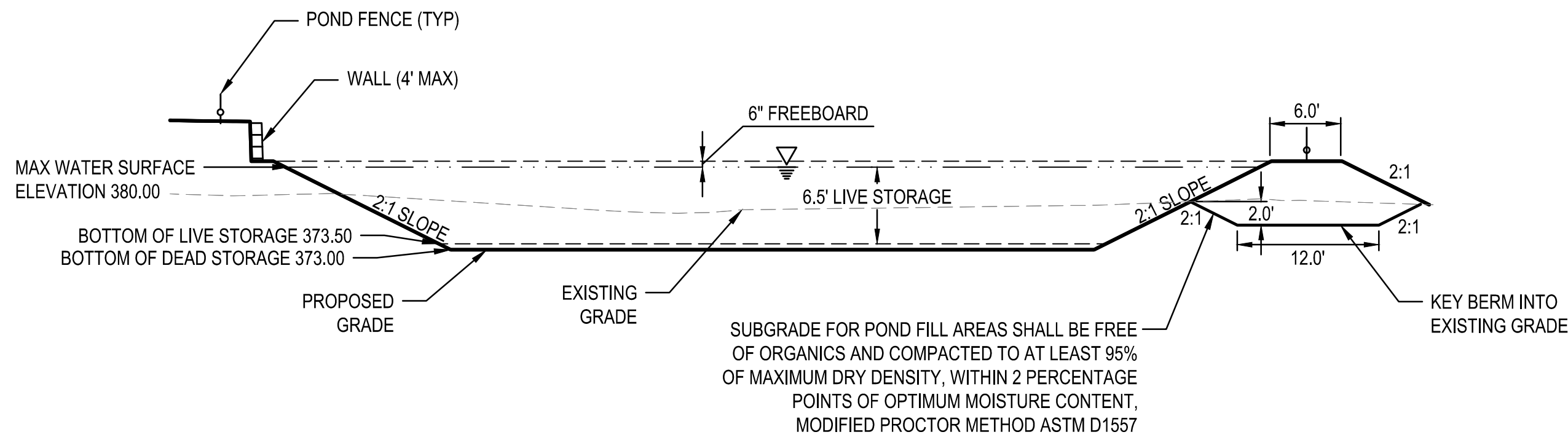
C5.10



POND SECTION

1" = 10'

A
C5.04



POND SECTION

1" = 10'

B
C5.04

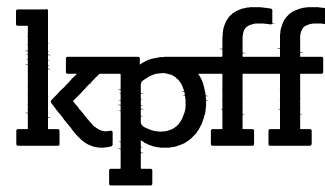
Z:\2500001-2509999\2500156_Engis_Plan\CAD\Design\Plan\Fig-PP-C5.20-PS.dwg
Jun 04, 2026 - 5:07pm
molly.locke

1	09/2025	RAG	JRN	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL
2	03/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 1
3	05/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 2
4	06/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 3
NO.	DATE	BY	CHD.	APPR.	REVISION

DRAWN BY RAG	DESIGNED BY JRN
CHECKED BY EKC	APPROVED BY JSF
DATE OCTOBER 9, 2026	
JOB No.:	2500156

CALL TWO BUSINESS
DAYS BEFORE YOU DIG
1-800-424-5555

SCALE:
AS NOTED



1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com



CEDARVIEW AT GLENNWOOD PLANNED RESIDENTIAL DEVELOPMENT
POULSBORO, WASHINGTON

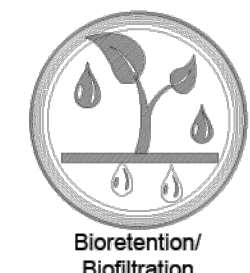
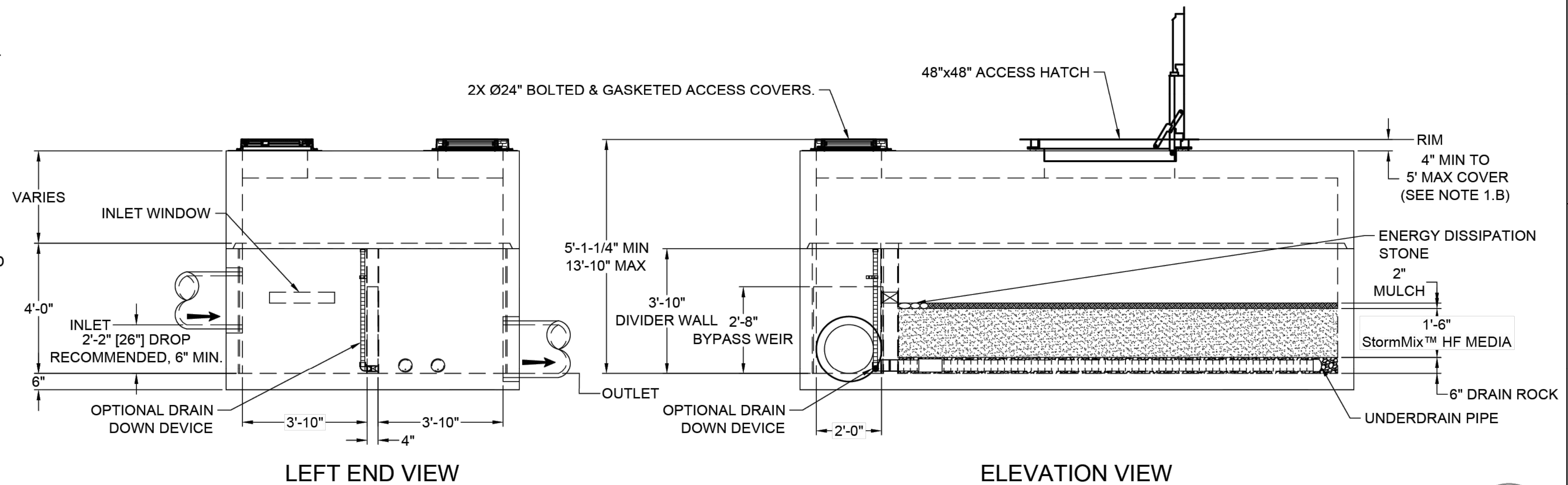
POND SECTION & DETAILS

SHEET

C5.20

KPFF NOTE: SITE SPECIFIC DATA AND "L-SHAPED" INLET/OUTLET CONFIGURATION TO BE ADDED WITH CONSTRUCTION ENGINEERING PLANS.

-
- PLAN VIEW
- Ø18" RCP MAX. INLET
- Ø18" RCP MAX. OUTLET
- 17'-0"
- 16'-0"
- 9'-0"
- 8'-0"
- INLET
- OUTLET
- DIVIDER WALL
- ALTERNATE INLET LOCATION
- ALTERNATE OUTLET LOCATION
- The plan view shows a rectangular pump and filter assembly. The pump is on the left, with an inlet at the top and an outlet at the bottom. The filter is on the right, represented by a shaded rectangular area. A divider wall separates the pump and filter. Dimensions are provided for the overall width (17'-0"), the distance from the inlet to the divider wall (16'-0"), and the distance from the outlet to the divider wall (9'-0"). Alternative inlet and outlet locations are also indicated.



 Oldcastle InfrastructureTM A CRH COMPANY PH: 888.965.1327 www.oldcastleinfrastructure.com/formwater			BIOPOD TM BIOFILTER SYSTEM BP-V816-U SYSTEM ID: -								CEDARVIEW AT GLENWOOD PLANNED RESIDENTIAL DEVEL - POUL-SBO, WA
CONCEPTUAL DRAWING				CUSTOMER: KPFF CONSULTING ENGINEERS (SEATTLE)	REV	DESCRIPTION	DATE	DATE: 05/06/2026			DRAWN: PPS
								PROJECT # 26-1644674			CHECKED: AFD
								SAP PLANT #:			MFG: 1021 AUBURN
THIS DOCUMENT IS THE PROPERTY OF OLDCASTLE INFRASTRUCTURE, INC. IT IS CONFIDENTIAL. SUBMITTER FOR REFERENCE PURPOSES ONLY, AND SHALL NOT BE USED IN ANY WAY MAJOROUS TO THE INTERESTS OF, OR WITHOUT THE WRITTEN PERMISSION OF OLDCASTLE INFRASTRUCTURE, INC. COPYRIGHT © 2008 OLDCASTLE INFRASTRUCTURE, INC. ALL RIGHTS RESERVED.											

SHEET
1 OF 1

1	09/2025	RAG	JRN	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL	DRAWN BY RAG	DESIGNED BY JRN
2	03/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 1	CHECKED BY EKC	APPROVED BY JSF
3	05/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 2		
4	06/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 3		
							DATE OCTOBER 9, 2026
NO.	DATE	BY	CHD.	APPR.	REVISION		JOB No.: 2500156

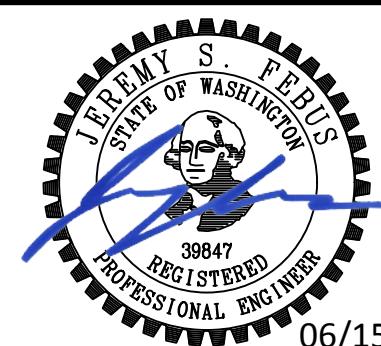
CALL TWO BUSINESS
DAYS BEFORE YOU DIG
1-800-424-5555

SCALE:
AS NOTED

kpff

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

THE SIGNATURE
THIS SHEET IS FOR
CONFORMANCE OF
THIS DETAIL WITH
SITE/CIVIL DESIGN.
ENGINEER MAKES
NO WARRANTY FOR
THE PRODUCT.



06/15/2026

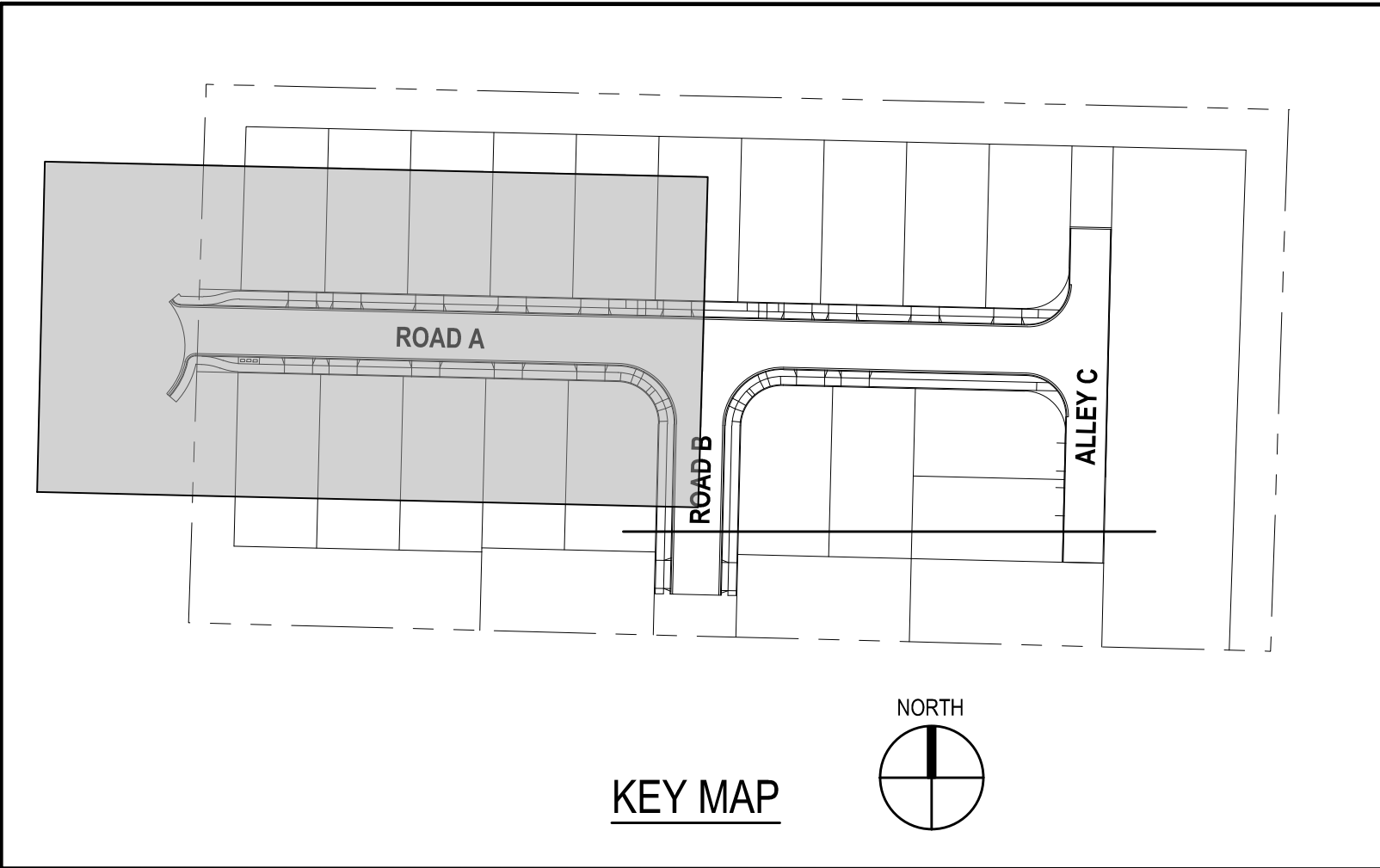
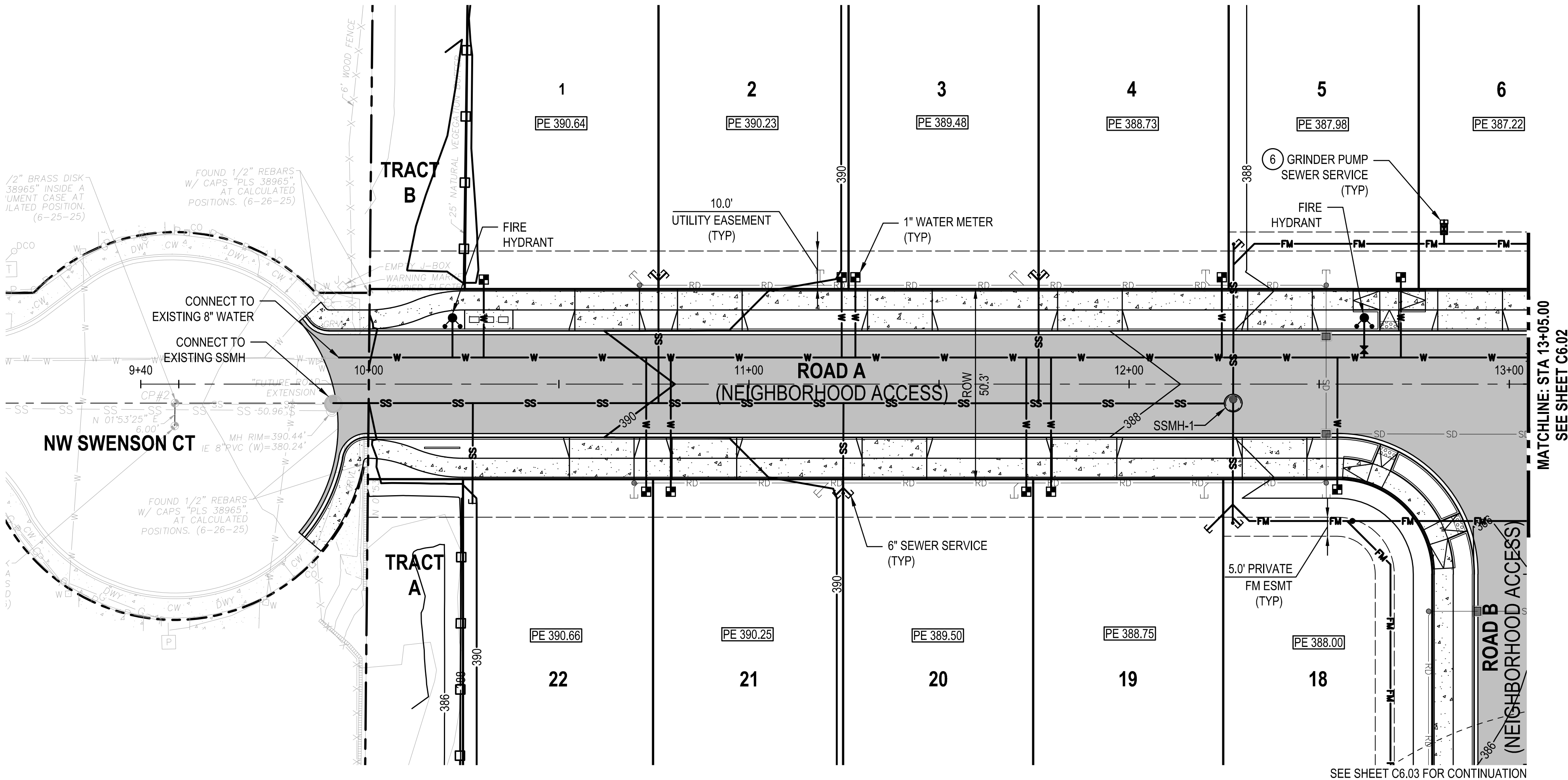
CEDARVIEW AT GLENNWOOD PLANNED RESIDENTIAL DEVELOPMENT
POULSBORO, WASHINGTON

WATER QUALITY DETAILS

SHEET

C5.30

NW1/4, SEC. 10, TWP. 26 N., RGE. 1 E., W.M.

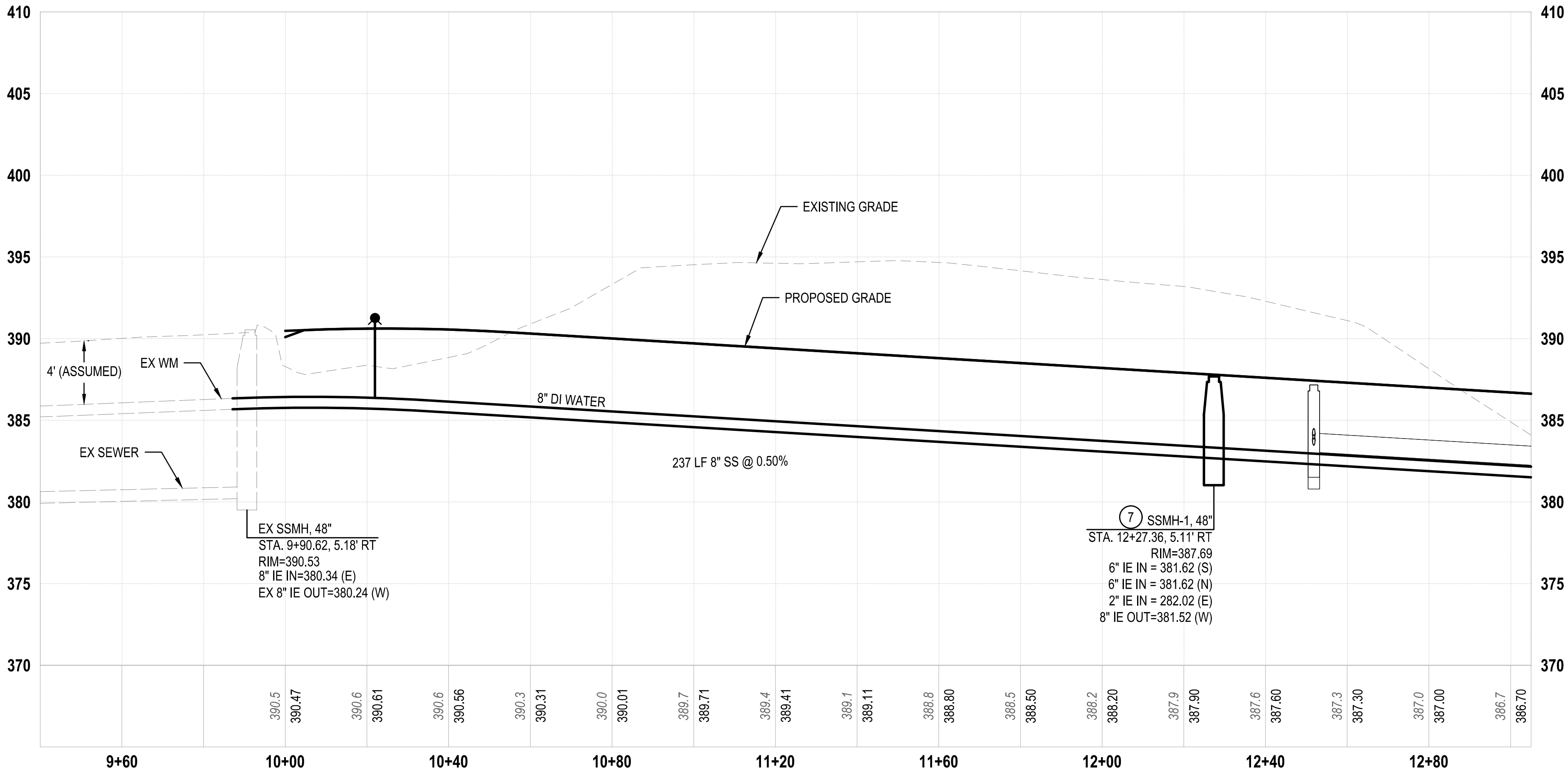
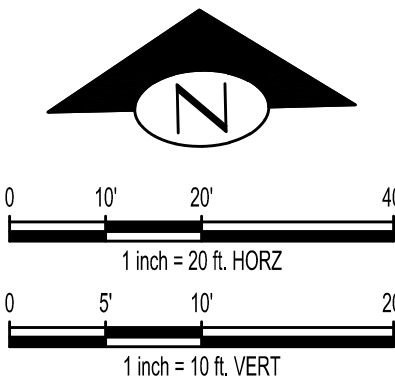


LEGEND

- PROPOSED PROPERTY LINE
- PROPERTY LINE
- CENTERLINE
- PROPOSED EASEMENT
- STORM DRAIN LINE
- WATER MAIN
- SEWER MAIN
- SEWER PUMP
- SEWER CLEANOUT
- FIRE HYDRANT
- GATE VALVE
- AIR RELIEF VALVE
- WATER METER
- FLOW DIRECTION ARROW
- FINISHED GRADE CONTOUR
- EXISTING GRADE CONTOUR
- WALL (LOCK AND LOAD)
- 4' FALL PROTECTION FENCE
- SPLIT RAIL FENCE
- CONCRETE PAVING
- ASPHALT PAVING

NOTES

- LOCATION AND ELEVATION OF PROPOSED UTILITY CONNECTIONS WILL BE VERIFIED DURING CONSTRUCTION PLAN PREPARATION.
- SEWER FORCE MAIN AND SERVICES SHALL BE LOCATED BELOW THE PROPOSED WATER MAIN.
- RESTRAINED JOINT PIPE REQUIRED FOR WATER MAIN CONSTRUCTED IN FILL.
- KPUD STANDARDS APPLY TO WATER MAIN DESIGN AND INSTALLATION.
- INDIVIDUAL WATER SERVICES SHALL BE 1" POLY PIPE.
- SEWER FORCE MAIN SERVICES INCLUDING GRINDER PUMPS, VALVES, PIG PORTS, ETC. SHALL BE PERMITTED WITH THE INDIVIDUAL BUILDING PERMITS.
- SEWER FORCE MAIN SHALL TIE INTO MANHOLE 1' ABOVE THE GRAVITY SEWER CROWN. INSIDE THE MANHOLE, A 90° BEND SHALL BE INSTALLED AND THE FORCE MAIN SHALL EXTEND DOWN TO THE TOP OF THE GRAVITY PIPE FOR DISCHARGE INTO THE CHANNEL.
- 18-INCH VERTICAL SEPARATION REQUIRED BETWEEN WATER AND STORM AT UTILITY CROSSINGS.



Jun 04, 2026 - 5:07pm molly/lope Z:\2500001-2509999\2500156_Engis_Plan\CAD\Design\Plan\FG-PP-C6.01-UT-PP.dwg

1	09/2025	RAG	JRN	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL
2	03/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 1
3	05/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 2
4	06/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 3
NO.	DATE	BY	CHD.	APPR.	REVISION

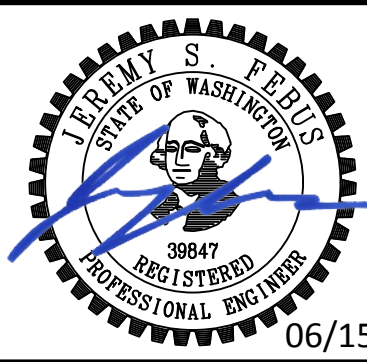
DRAWN BY	DESIGNED BY
RAG	JRN
CHECKED BY	APPROVED BY
EKC	JSF
DATE	
OCTOBER 9, 2026	
JOB No.:	2500156

CALL TWO BUSINESS
DAYS BEFORE YOU DIG
1-800-424-5555

SCALE:
AS NOTED

kpff

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

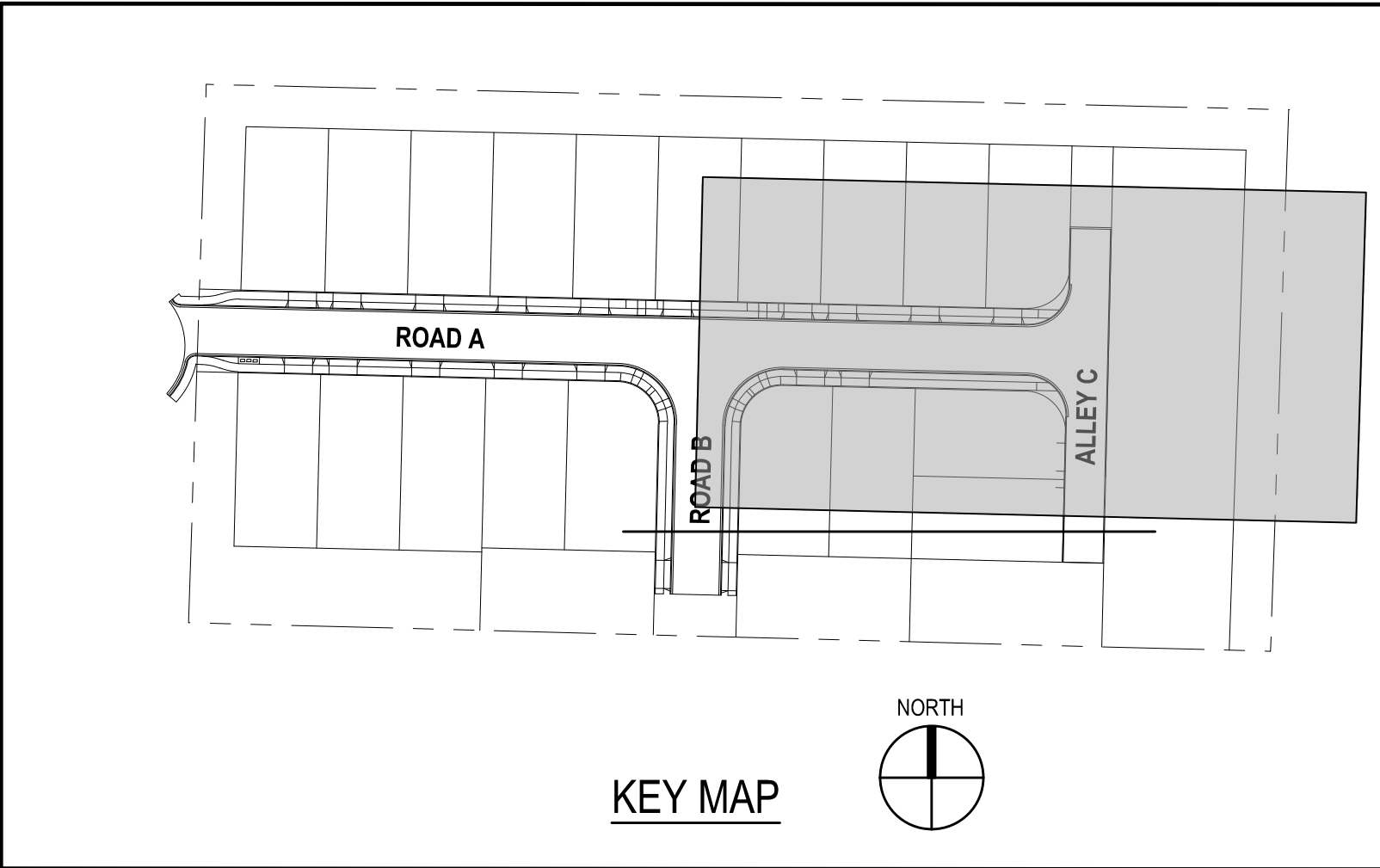
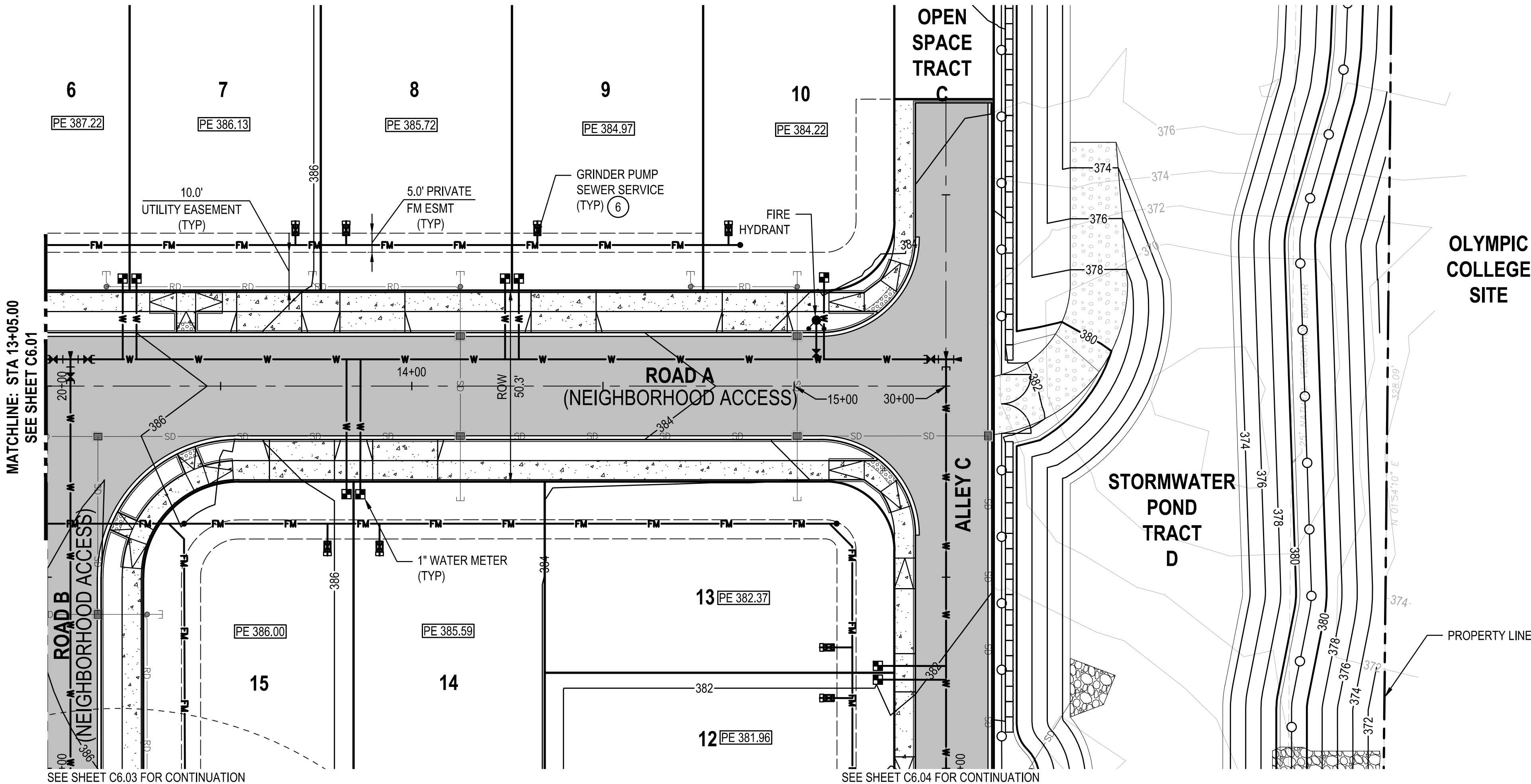


CEDARVIEW AT GLENNWOOD PLANNED RESIDENTIAL DEVELOPMENT
POULSBO, WASHINGTON

ROAD A UTILITIES PLAN & PROFILE

SHEET

C6.01

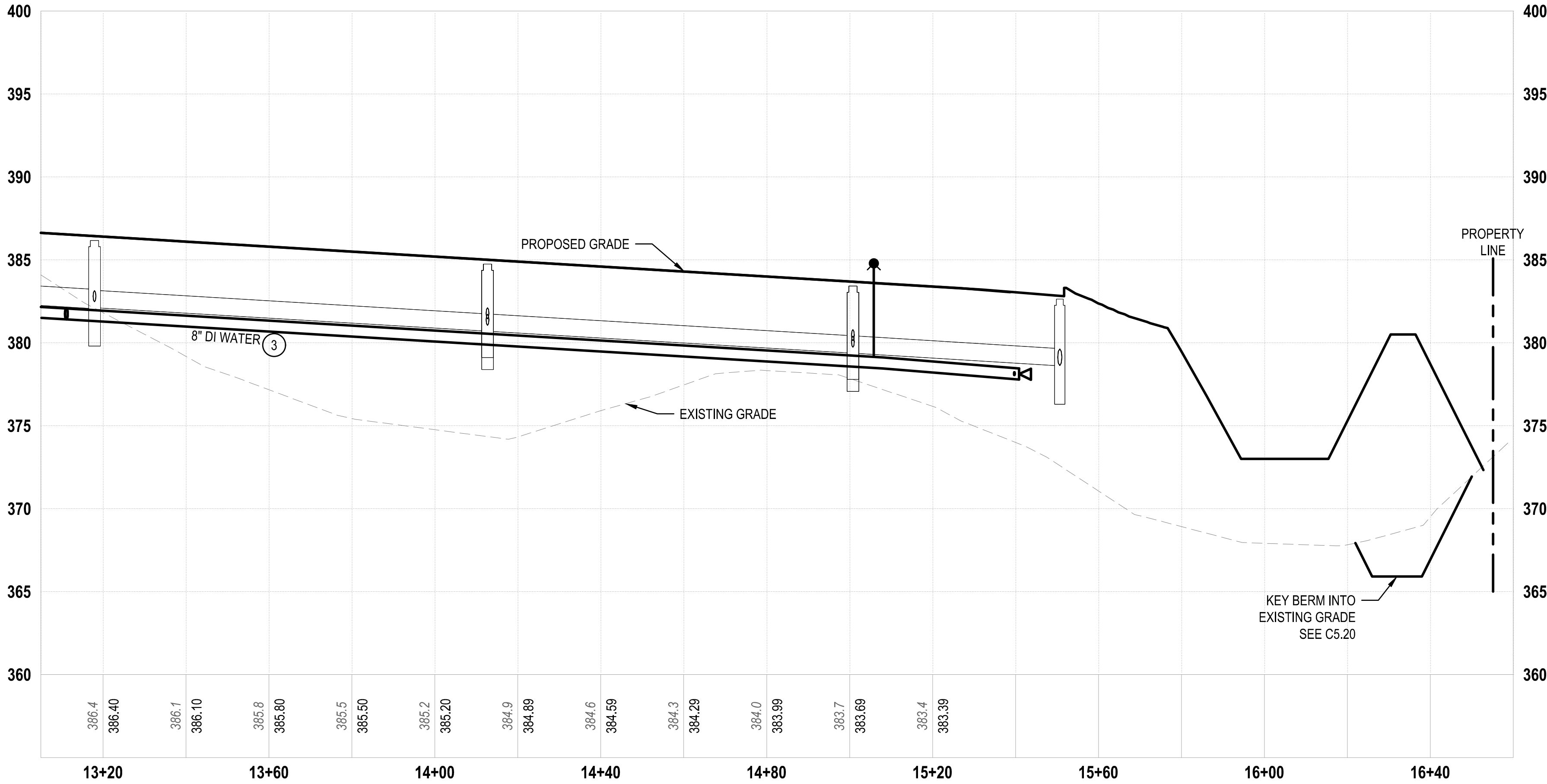
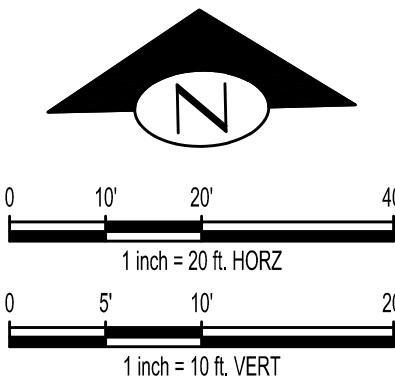


LEGEND

- PROPOSED PROPERTY LINE
- PROPERTY LINE
- CENTERLINE
- PROPOSED EASEMENT
- STORM DRAIN LINE
- WATER MAIN
- SEWER MAIN
- SEWER PUMP
- SEWER CLEANOUT
- FIRE HYDRANT
- GATE VALVE
- AIR RELIEF VALVE
- WATER METER
- FLOW DIRECTION ARROW
- FINISHED GRADE CONTOUR
- EXISTING GRADE CONTOUR
- WALL (LOCK AND LOAD)
- 4' FALL PROTECTION FENCE
- CONCRETE PAVING
- ASPHALT PAVING

NOTES

- LOCATION AND ELEVATION OF PROPOSED UTILITY CONNECTIONS WILL BE VERIFIED DURING CONSTRUCTION PLAN PREPARATION.
- SEWER FORCE MAIN AND SERVICES SHALL BE LOCATED BELOW THE PROPOSED WATER MAIN.
- RESTRAINED JOINT PIPE REQUIRED FOR WATER MAIN CONSTRUCTED IN FILL.
- KPUD STANDARDS APPLY TO WATER MAIN DESIGN AND INSTALLATION.
- INDIVIDUAL WATER SERVICES SHALL BE 1" POLY PIPE.
- SEWER FORCE MAIN SERVICES INCLUDING GRINDER PUMPS, VALVES, PIG PORTS, ETC. SHALL BE PERMITTED WITH THE INDIVIDUAL BUILDING PERMITS.
- INDIVIDUAL WATER SERVICES SHALL BE 1" POLY PIPE.
- 18-INCH VERTICAL SEPARATION REQUIRED BETWEEN WATER AND STORM AT UTILITY CROSSINGS.

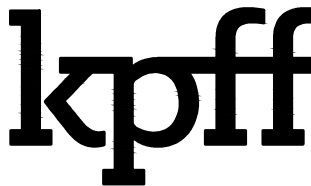


Jun 04, 2026 - 5:07pm molly.koele Z:\2500001-2509999\2500156_Engis_Plan\CAD\Design\Plan\FC-PP-C6.01-UT-PP.dwg

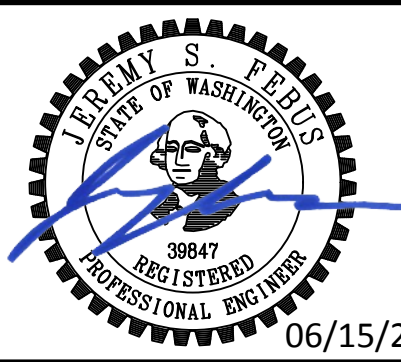
1	09/2025	RAG	JRN	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL	DRAWN BY RAG	DESIGNED BY JRN
2	03/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 1	CHECKED BY EKC	APPROVED BY JSF
3	05/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 2	DATE OCTOBER 9, 2026	
4	06/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 3		
NO.	DATE	BY	CHD.	APPR.	REVISION	JOB No.: 2500156	

CALL TWO BUSINESS DAYS BEFORE YOU DIG 1-800-424-5555

SCALE: AS NOTED



1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

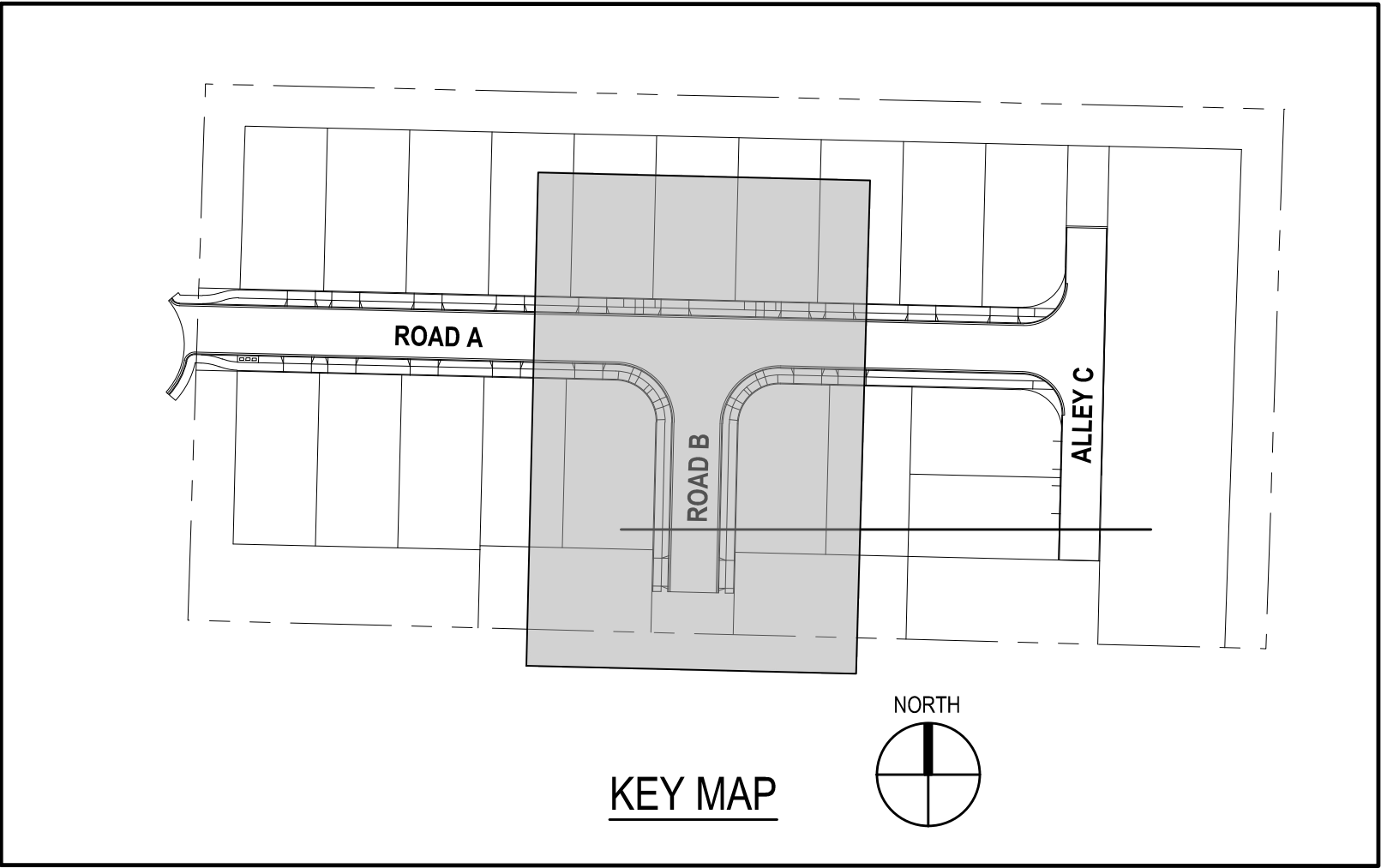
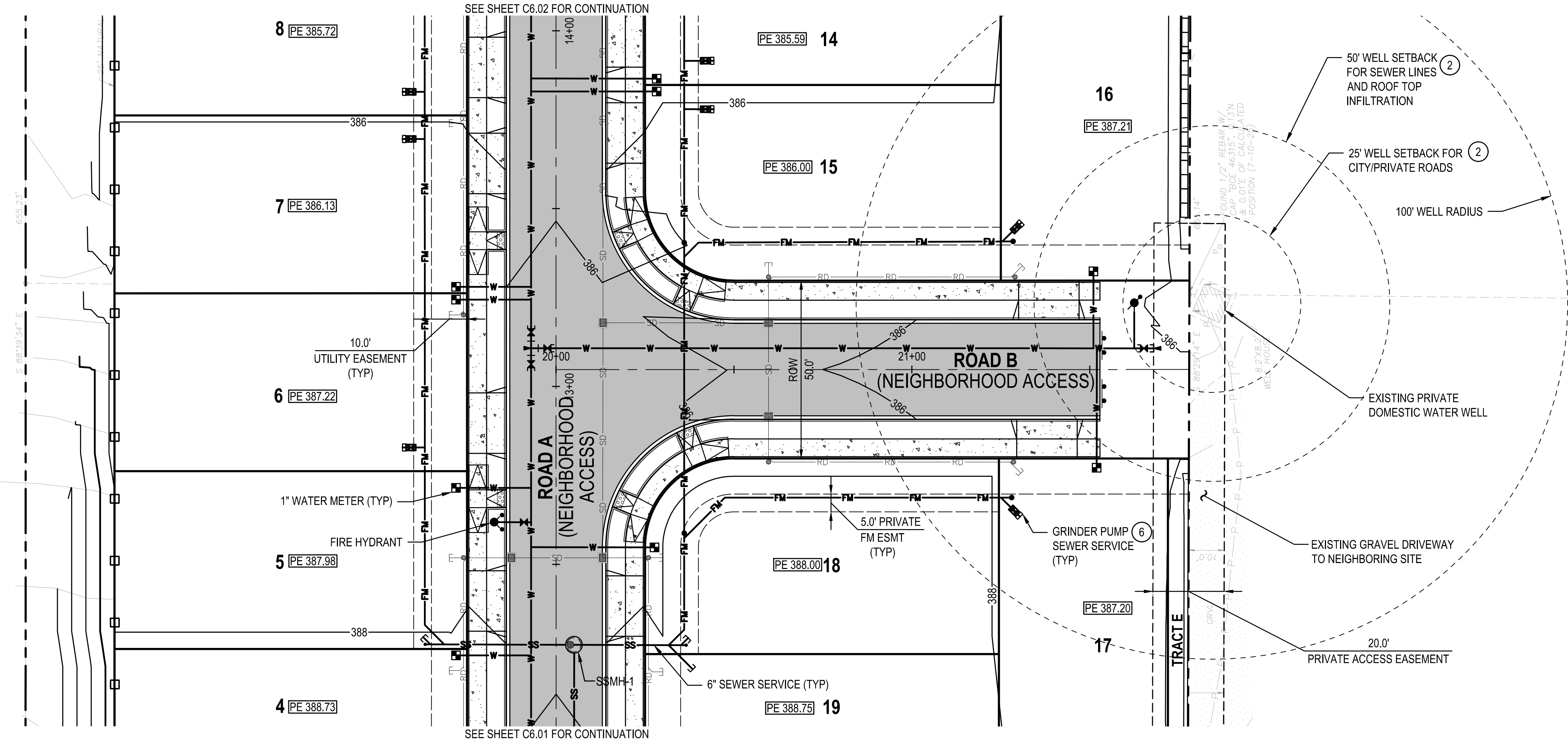


CEDARVIEW AT GLENNWOOD PLANNED RESIDENTIAL DEVELOPMENT
POULSBO, WASHINGTON

ROAD A UTILITIES PLAN & PROFILE

SHEET

C6.02

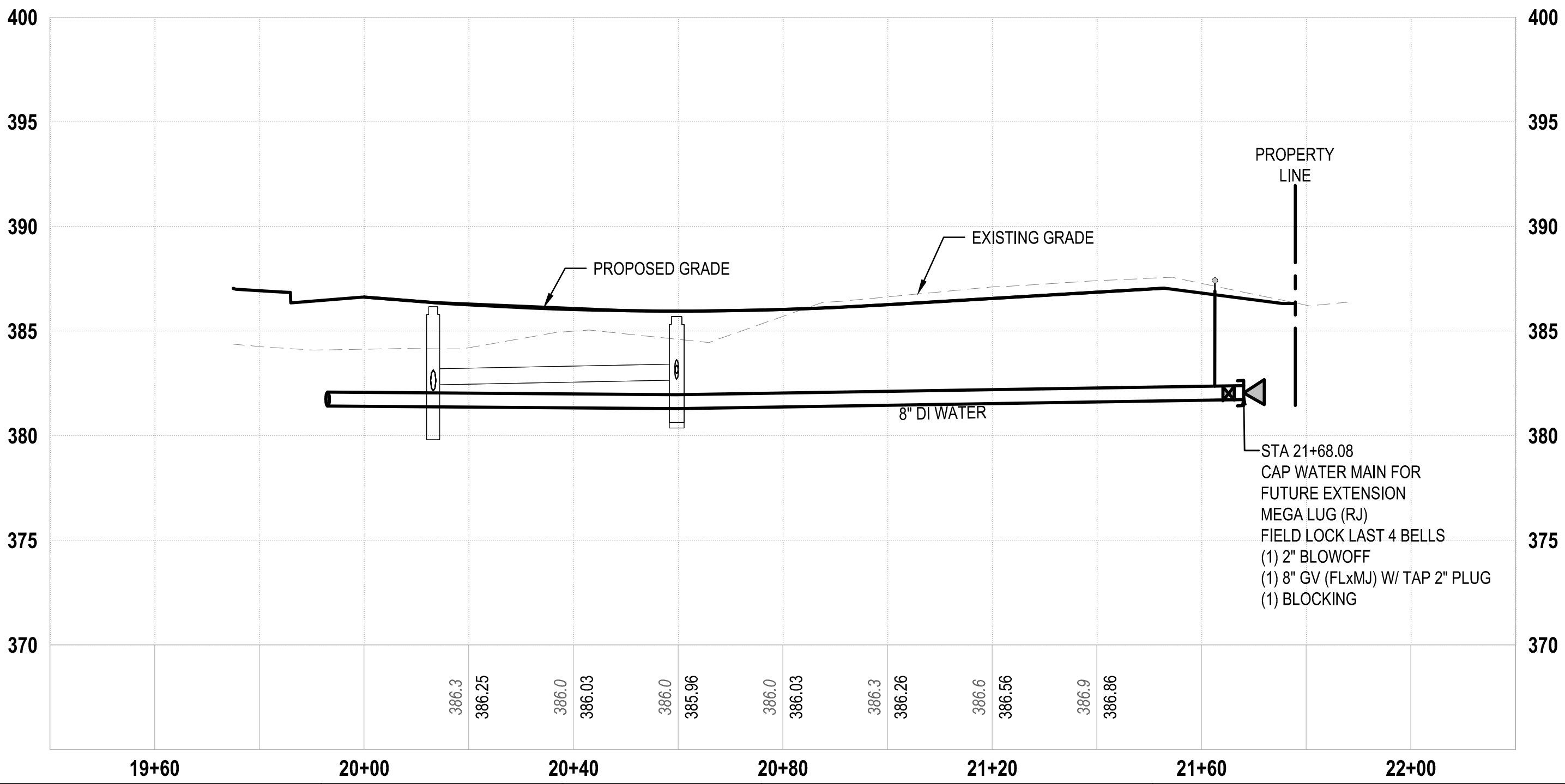


LEGEND

- PROPOSED PROPERTY LINE
- PROPERTY LINE
- CENTERLINE
- PROPOSED EASEMENT
- STORM DRAIN LINE
- WATER MAIN
- SEWER MAIN
- SEWER PUMP
- SEWER CLEANOUT
- FIRE HYDRANT
- GATE VALVE
- AIR RELIEF VALVE
- WATER METER
- FLOW DIRECTION ARROW
- FINISHED GRADE CONTOUR
- EXISTING GRADE CONTOUR
- WALL (LOCK AND LOAD)
- 4' FALL PROTECTION FENCE
- SPLIT RAIL FENCE
- CONCRETE PAVING
- ASPHALT PAVING

NOTES

- LOCATION AND ELEVATION OF PROPOSED UTILITY CONNECTIONS WILL BE VERIFIED DURING CONSTRUCTION PLAN PREPARATION.
- PRIVATE DOMESTIC WELL SETBACKS REQUIRED BY THE KITSAP PUBLIC HEALTH DISTRICT ARE MAPPED FROM THE CENTER OF THE SURVEYED WELL HOUSE.
- SEWER FORCE MAIN AND SERVICES SHALL BE LOCATED BELOW THE PROPOSED WATER MAIN.
- RESTRAINED JOINT PIPE REQUIRED FOR WATER MAIN CONSTRUCTED IN FILL.
- KPUD STANDARDS APPLY TO WATER MAIN DESIGN AND INSTALLATION.
- SEWER FORCE MAIN SERVICES INCLUDING GRINDER PUMPS, VALVES, PIG PORTS, ETC. SHALL BE PERMITTED WITH THE INDIVIDUAL BUILDING PERMITS.
- INDIVIDUAL WATER SERVICES SHALL BE 1" POLY PIPE.
- 18-INCH VERTICAL SEPARATION REQUIRED BETWEEN WATER AND STORM AT UTILITY CROSSINGS.



Jun 04, 2026 - 5:08pm molly/loole Z:\2500001-2509999\2500156_Enggis_Plan\CAD\Design\Plan\FC-PP-C6.01-11-PP.dwg

1	09/2025	RAG	JRN	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL	DRAWN BY RAG	DESIGNED BY JRN
2	03/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 1	CHECKED BY EKC	APPROVED BY JSF
3	05/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 2	DATE OCTOBER 9, 2026	
4	06/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 3	JOB No.: 2500156	
NO.	DATE	BY	CHD.	APPR.	REVISION		

CALL TWO BUSINESS
DAYS BEFORE YOU DIG
1-800-424-5555

SCALE:
AS NOTED

kpff

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com



CEDARVIEW AT GLENNWOOD PLANNED RESIDENTIAL DEVELOPMENT
POULSBO, WASHINGTON

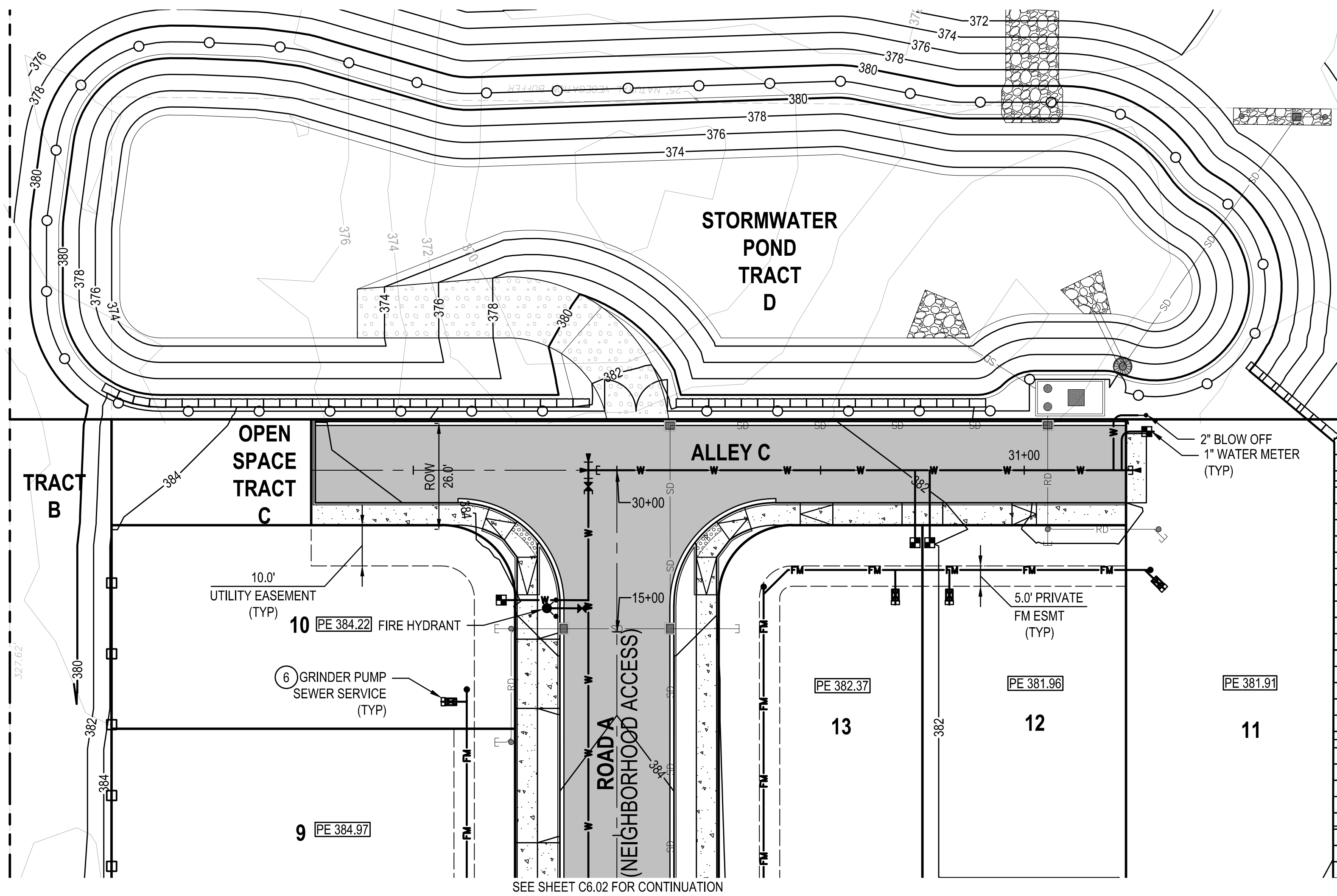
ROAD B UTILITIES PLAN & PROFILE

SHEET

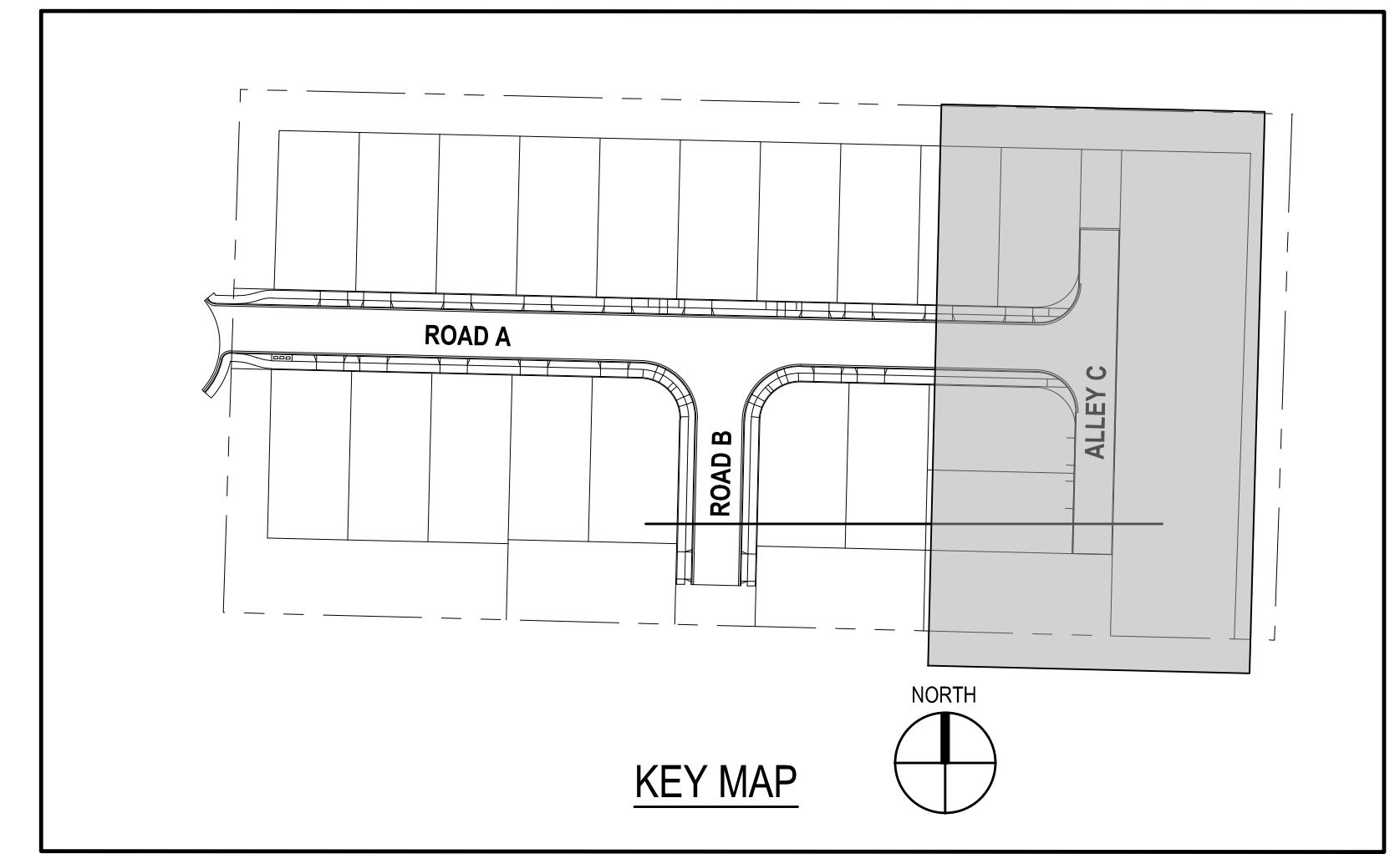
C6.03

Z:\2500001-2509999\2500156_Engis_Plan\CD00\Design\Plan\FG-PP-C6.01-11-PP.dwg
Jun 04, 2026 - 5:08pm
molly.hoole

NW1/4, SEC. 10, TWP. 26 N., RGE. 1 E., W.M.



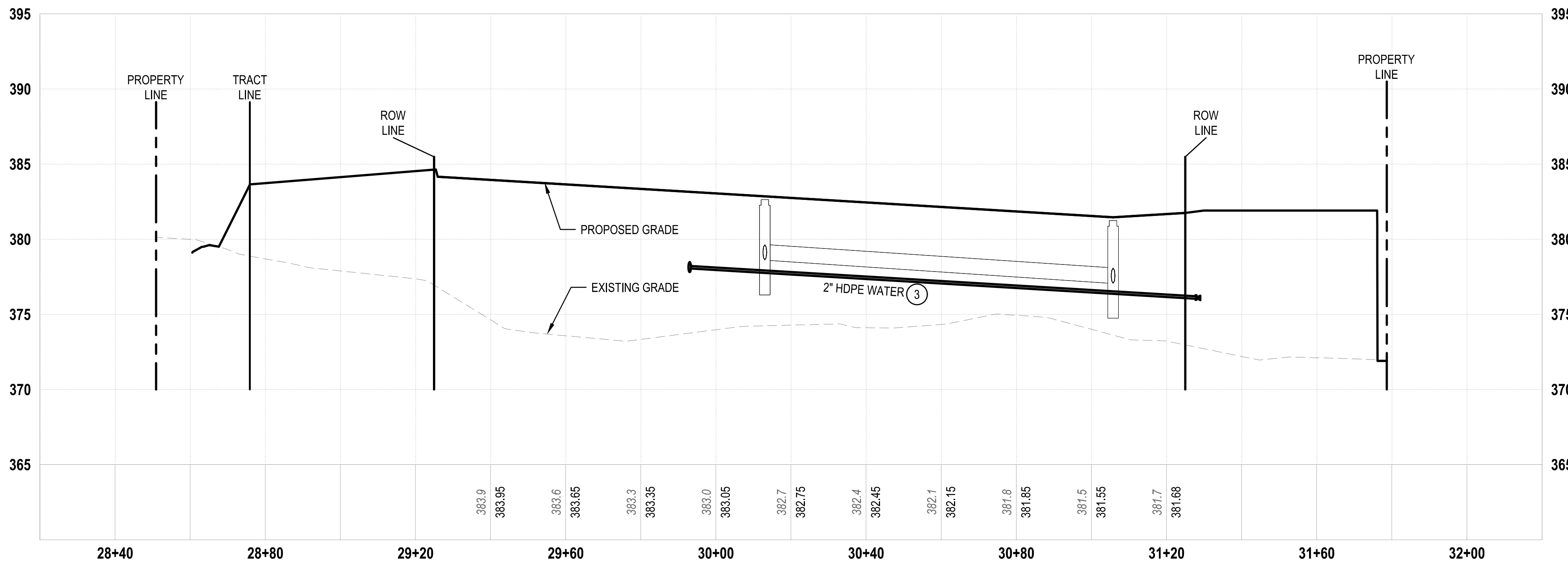
SEE SHEET C6.02 FOR CONTINUATION



- LEGEND**
- PROPOSED PROPERTY LINE
 - PROPERTY LINE
 - CENTERLINE
 - PROPOSED EASEMENT
 - STORM DRAIN LINE
 - WATER MAIN
 - SEWER MAIN
 - SEWER PUMP
 - SEWER CLEANOUT
 - FIRE HYDRANT
 - GATE VALVE
 - AIR RELIEF VALVE
 - WATER METER
 - FLOW DIRECTION ARROW
 - FINISHED GRADE CONTOUR
 - EXISTING GRADE CONTOUR
 - WALL (LOCK AND LOAD)
 - 4' FALL PROTECTION FENCE
 - SPLIT RAIL FENCE
 - CONCRETE PAVING
 - ASPHALT PAVING

NOTES

- LOCATION AND ELEVATION OF PROPOSED UTILITY CONNECTIONS WILL BE VERIFIED DURING CONSTRUCTION PLAN PREPARATION.
- SEWER FORCE MAIN AND SERVICES SHALL BE LOCATED BELOW THE PROPOSED WATER MAIN.
- RESTRAINED JOINT PIPE REQUIRED FOR WATER MAIN CONSTRUCTED IN FILL.
- KPUD STANDARDS APPLY TO WATER MAIN DESIGN AND INSTALLATION.
- INDIVIDUAL WATER SERVICES SHALL BE 1" POLY PIPE.
- SEWER FORCE MAIN SERVICES INCLUDING GRINDER PUMPS, VALVES, PIG PORTS, ETC. SHALL BE PERMITTED WITH THE INDIVIDUAL BUILDING PERMITS.
- INDIVIDUAL WATER SERVICES SHALL BE 1" POLY PIPE.
- 18-INCH VERTICAL SEPARATION REQUIRED BETWEEN WATER AND STORM AT UTILITY CROSSINGS.

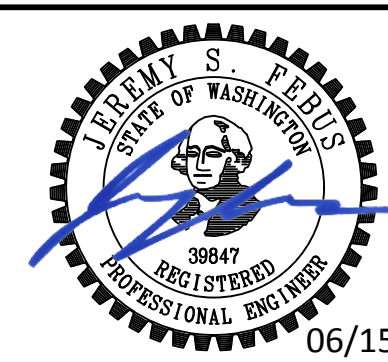


1	09/2025	RAG	JRN	JSF	INITIAL PRELIMINARY PLAT SUBMITTAL	DRAWN BY RAG	DESIGNED BY JRN
2	03/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 1	CHECKED BY EKC	APPROVED BY JSF
3	05/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 2	DATE OCTOBER 9, 2026	
4	06/2026	RAG	EKC	JSF	PRELIMINARY PLAT RESUBMITTAL 3		
NO.	DATE	BY	CHD.	APPR.	REVISION	JOB No.: 2500156	

CALL TWO BUSINESS
DAYS BEFORE YOU DIG
1-800-424-5555

kpff

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com



CEDARVIEW AT GLENNWOOD PLANNED RESIDENTIAL DEVELOPMENT
POULSBO, WASHINGTON

ALLEY C UTILITIES PLAN & PROFILE

SHEET

C6.04