

EXHIBIT D

Landscape Plan



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Nature By Design
Landscape Architecture

1320 Alameda Avenue, Suite B, Everett, WA 98206
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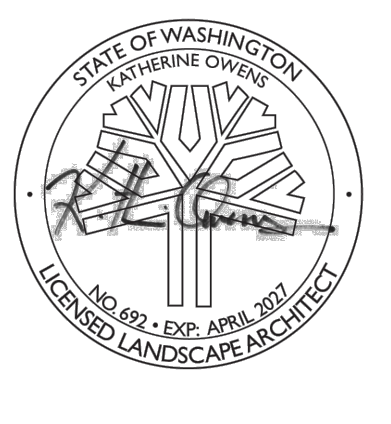
CEDAR VIEW AT GLENWOOD
XXX NW MUSHROOM LANE
POULSBORO, WA
TRUMARK HOMES
612 HARRISON ST, SUITE 100
SUMNER, WA 98390

REVISIONS:

D. UPDATED W NEW ARBORIST REPORT / TREE REPLACEMENT COUNT
E. UPDATED WITH NEW CIVIL BASE
F. REVISED PER NEW CIVIL BASE STORM LAYOUT

AGENCY REVIEW

DATE: JUNE 8, 2026



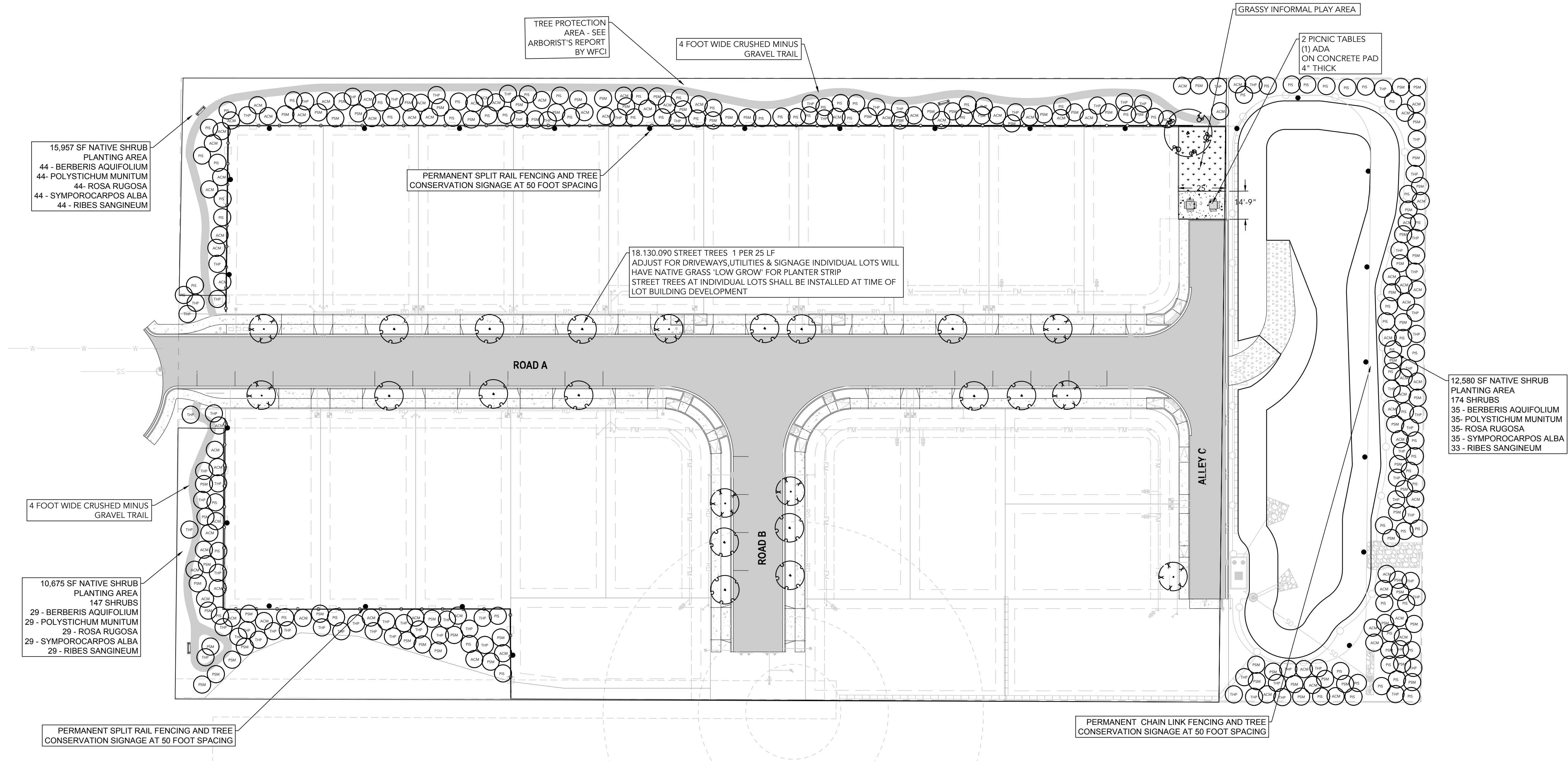
PROJECT NO: 25100
FILE NAME: 25100LSF
DRAWN BY: KLO
CHECKED BY: KLO
X-REFS: CIVIL
PLOT SCALE: 1:1
DRAWING SCALES: 1:30

DRAWING CONTENTS

LANDSCAPE PLAN

DRAWING NO.: **L1**

1 OF 4



PLANT LEGEND						
TREES						
SYMBOL	QTY	DESCRIPTION	SIZE	GENERAL SPACING	SIZE	HT X SPRD
	15	Acer grandidentatum 'Schmidt' Rocky Mountain Glow Maple (25'ht x 15' wd) 4' planter	1.5" Cal. Min Well Formed	20'	SMALL	25 X 25
	8	Syringa reticulata Ivory Silk Japanese Tree Lilac (20'htx15'w) 4' planter	1.5" Cal. Min Well Formed	20'	SMALL	25 X 15
	1	Acer palmatum Red or Green Red or Green Japanese Maple	1.5" Cal. Min Well Formed	30'	SMALL	25 X 25
	24					
REPLACEMENT TREES						
	81	Acer macrophylla Big Leaf Maple	1.5" Cal. Min Well Formed	15'	REPLACEMENT	75 X 50
	81	Picea sitchensis Sitka Spruce	5' Ht Min Well Formed	15'	REPLACEMENT	40 X 25
	81	Pseudotsuga menziesii Douglas Fir	5' Ht Min Well Formed	15'	REPLACEMENT	80 X 30
	80	Thuja plicata Western Red Cedar	5' Ht Min Well Formed	15'	REPLACEMENT	100 X 30
	323	TOTAL REPLACEMENT TREES				
Hydrosseed for Typical Lawn Areas SUNMARK NATIVE ECOTURF: Sunmark Seeds www.sunmarkseeds.com Botanical Name Common Name % by Weight						
		Festuca rubra	Native Red Fescue	45%		
		Bouteloua gracilis	Blue Grama	25%		
		Buchate dactyloides	Buffalograss	20%		
		Koeleria macrantha	Prairie Junegrass	7%		
		Trifolium fragiferum	Strawberry Clover	3%		
		1 lbs per 1,000 SF or 43.67 lbs per acre				

LANDSCAPE PLAN

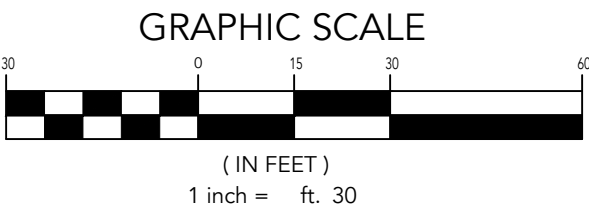
SUMMARY FROM WFCI ARBORIST REPORT L3
THERE ARE 1,291 HEALTHY SIGNIFICANT TREES ON THE SUBJECT PARCEL. AT LEAST 323 SIGNIFICANT TREES ARE REQUIRED TO BE RETAINED TO MEET THE 25% TREE RETENTION REQUIREMENT. ZERO SIGNIFICANT TREES ARE PLANNED TO BE RETAINED. THREE HUNDRED AND TWENTY-THREE (323) REPLACEMENT TREES ARE REQUIRED TO REPLACE THE NUMBER OF TREES SHORT OF THE MINIMUM REQUIREMENT.

NATIVE SHRUB PLANTING AREAS

QTY	DESCRIPTION	SIZE
105	BERBERIS AQUIFOLIUM	1 GAL.
105	POLYSTICHUM MUNITUM	1 GAL.
105	ROSA RUGOSA	1 GAL.
105	SYMPOROCARPOS ALBA	1 GAL.
103	RIBES SANGINEUM	1 GAL.

SEE PLAN ABOVE FOR QTY IN EA. AREA. PLANT IN NATURAL LAYOUT.

- NOTE:*
- Street Trees must be from the approved street tree list of SMALL TREES with the City of Poulsbo. Any substitutions shall be approved by the Landscape Architect.
 - All Street Trees in Planter Strips shall have Root Barrier per detail on sheet L2.
 - Street trees shall be spaced from utilities and driveways per table on sheet L2.



SITE FURNISHINGS & EQUIPMENT			
SYM	QTY	DESCRIPTION	SUPPLIER
	1	Picnic Table, 48" Sq. Recycled Plastic Table W/3 Seats, ADA Accessible, Surface Mount, Color: Owner's Choice	PACIFIC OUTDOOR PRODUCTS
	1	Picnic Table, 48" Sq. Recycled Plastic Table W/4 Seats, Surface Mount, Color: Owner's Choice	PACIFIC OUTDOOR PRODUCTS
	3	6' Bench w/ Back - Recycled Plastic Table W/4 Seats, Embedded, Color: Owner's Choice	
	26	Permanent and Temporary Tree Protection Signage - see detail sheet L4	

Infrastructure Description	Recommended Distance
Street Corner	30'
Stop and Yield Signs	25'
Utility Poles	20'
Underground Electrical	5'
Overhead Electrical Lines	No trees with mature heights over 25'
Traffic Signals	25'
Street or Pedestrian Light	20'
Residential Drive	7.5'
Commercial Drive	10'
Alley Entrance	15'
Pavement, Curbs and Edge of Sidewalks	*Small Trees = 2-4' Minimum *Medium Trees = 3-5' Minimum *Large Trees = 4-5' Minimum *Dependent on Species
Utility Access Lids	5'
Gas Shut-Off Valves, Meters and Lines	5'
Fire Hydrants & Hydrant Branches	10'
Water Meters, Services and Mains	6'
Storm Inlets, Catch Basins and Manholes	5'
Storm/Sanitary Service Connections and Mains	5'
Existing Trees	20'

GENERAL LANDSCAPE NOTES

- Contractor is responsible for obtaining all necessary permits from the appropriate agency prior to commencing work. Contractor shall contact Line Locators (811) a min. of 48 hours prior to any digging or trenching. If there are any discrepancies with existing lines and landscaping, it is the contractor's responsibility to contact the landscape architect and request a site visit to address the conflicts. Contractor shall comply and conform to any and all local and state codes for work, schedules and any other project related requirements.
- Contractor shall coordinate directly with the landscape architect for all landscape related issues, concerns, inspections and approvals. Contractor shall provide the landscape architect with a written request for a site visit to address any related items.
- Scope of work shall include any and all specified and unspecified but related incidental work to achieve the design indicated on the landscape plans. All labor, materials, subcontractors, equipment, and related incidental items shall be supplied and installed to achieve a complete project, unless directed otherwise by the general contractor or landscape architect.
- Contractor to verify all sub grades are set below required amendments to insure the finished grade will match what is intended by civil or drainage design. All sub grades and finished or final grades shall be graded to drain to the designed drainage system with positive drainage away from all structures.
- Grade Preparation:**
 - Slopes used for grass plantings or turf shall be less than 3:1 or 33 percent. Otherwise plantings should not require mechanized mowing equipment. Any invasive / toxic vegetation shall be removed and treated with herbicide (hand applied to minimize treatment to specific plant) prior to any new planting. Native vegetation shall not be disturbed.

Soil Preparation.

- Where soils are compacted and in informal grassy play areas, planting beds should be deep tilled to a depth of at least 12 inches. Soils shall be enhanced through the addition of the following materials: bark and forestry by-products, organic matter such as composted yard waste, organics and other amendments as needed through a soils test. Soils that meet a balanced PH between 6-8PH, do not required amending. Where Pit Planting, see planting detail for planting ring sizes and depths. Scarify the edges of planting pits to encourage root expansion.
 - On project sites where topsoil is limited or nonexistent, a minimum depth of 6 (six) inches of sandy loam topsoil should be tilled into the soil to a depth of 12 inches through all planting areas with compacted soils.
 - For all newly planted areas, three cubic yards of composted organic matter per 1,000 square feet of landscape area should be added to a depth of four inches to the top of the soil and Tilled in.
 - Seeded areas shall be fine graded and rolled. New Soil depths in lawn areas shall be 4 Inches.
 - Native undisturbed areas with new trees shall be pit planted per tree planting details.
 - In order to utilize on site Top Soil, contractor shall submit a soil test showing the PH (acid) level of existing Top Soil on site. A ziploc type bag of soil can be delivered to Spectra Lab in the Tacoma Tideflats - 2221 Ross Way, Tacoma, WA 98421 or a similar testing lab to measure PH level in soils.
- Mulching of Newly Planted or Replanted Areas.
 - Mulches must be applied to the following depths: a minimum 3 (three) inches over bare soil, and two inches where plant materials will cover.
 - Mulches must include organic materials, such as wood chips and shredded bark.
 - Nonporous materials, such as plastic sheeting, shall not be used in any area of the landscape because of down-slope erosion and potential soil contamination from herbicide washing.
 - Mulch should be applied regularly to and maintained in all planting areas to assist soils in retaining moisture, reducing weed growth, and minimizing erosion.
 - Contractor shall field layout all plant material and contact the landscape architect for a site visit to approve the layout. Any field modifications shall be done by the landscape architect prior to planting.
 - Contractor shall immediately notify the landscape architect of any poor drainage condition in landscape areas. No standing water shall be permitted in any landscape areas - either on the surface or below the topsoil. The landscape architect shall coordinate the drainage solution with the general contractor and civil engineer. Once the concerns have been remedied planting shall commence.
 - All groundcover to be planted in a triangular spacing formation, equal in all directions to the centers of the groundcovers in distances indicated in the legend. Contractor shall verify all quantities of groundcovers by area calculations and spacing requirements.
 - Landscaping is to be per plan. Plant substitutions due to availability or otherwise will be allowed only with landscape architect, owner and agency approval. Any substitutions will be with material of similar size, growth characteristics, and quality.
 - All trees must be staked as necessary so as to maintain material in a healthy, vigorous growing condition.
 - Landscaping shall be installed in a professional workmanlike manner that is consistent and accepted throughout the industry. All landscape and irrigation work shall be performed by experienced persons familiar with scope of project.
 - All landscape material and labor is to be guaranteed for a period of one full year from the time of completion.

- When planting 'Balled and Burlapped' product, remove all burlap, string & wire from any B&B plant material, cut and remove jute strings. Gently place in tact Rootbal into planting pit. If rootball breaks or is not solid - the plant is unacceptable and shall be replaced.
- Fertilizer Tablets: Apply 1 per gallon of plant size. 5 per 1.5" cal. tree and 6' tree. Agriform 20-10-5 long lasting planting fertilizer tablet with minors. An excellent way to ensure tree crops have a good start. Easy way to feed newly planted trees, shrubs and container plants. Contains the necessary nutrients to feed your plants for up to 2 years. These tablets break down slowly through the action of soil bacteria which converts the tablet nitrogen to forms that can be absorbed by plant roots. Tablets provide consistent nutrition to plants. Tablets contain micronutrients derived from sulfates which are generally more plant available than those derived from oxides. Contains 500 tablets of 21-gram each.
- Street trees shall be high branching with canopy that starts at least 6' above finish grade.
- All plant I.D. tags are to remain on the plant material until final inspection has been completed. Once approved all plant I.D. tags shall be removed and discarded appropriately.
- Trees shall be cared for in accordance with the American National Standards Institute (ANSI) standard practices for trees, shrubs and other woody plant maintenance (ANSI 300) in order to allow them to reach there mature height and form.
- Pruning of street trees shall be performed per the ANSI 300 standards so as to maintain the natural form of the tree, encourage vigorous growth to a mature spread and height, and avoid weakening the tree to create a hazard. Street trees shall not be topped pollarded, or otherwise pruned in a manner contrary to these goals, unless there is no practicable alternative that would preserve essential utility services.

20. Plant material selected is drought tolerant or native species. The project proponent (property Owner) shall be responsible for maintaining and watering all plant material throughout the first growing season and in times of drought.

Permanent Irrigation shall be supplied to Park Tracts. See Irrigation Plans. TEMPORARY irrigation shall be supplied to tree restoration areas.

It is recommended to install the landscaping in the Spring (February - April) or Fall (October - December)when dormant but before hard freeze.

TEMPORARY IRRIGATION

The project proponent shall ensure that a minimum of **one (1) inch of water is supplied each week** to the restoration area between May 1 and October 15 for a least the first two years following initial planting. The calculated amount of required water shall include both natural rainfall and temporary irrigation.

SE-5335 Four-Sided Poly Table



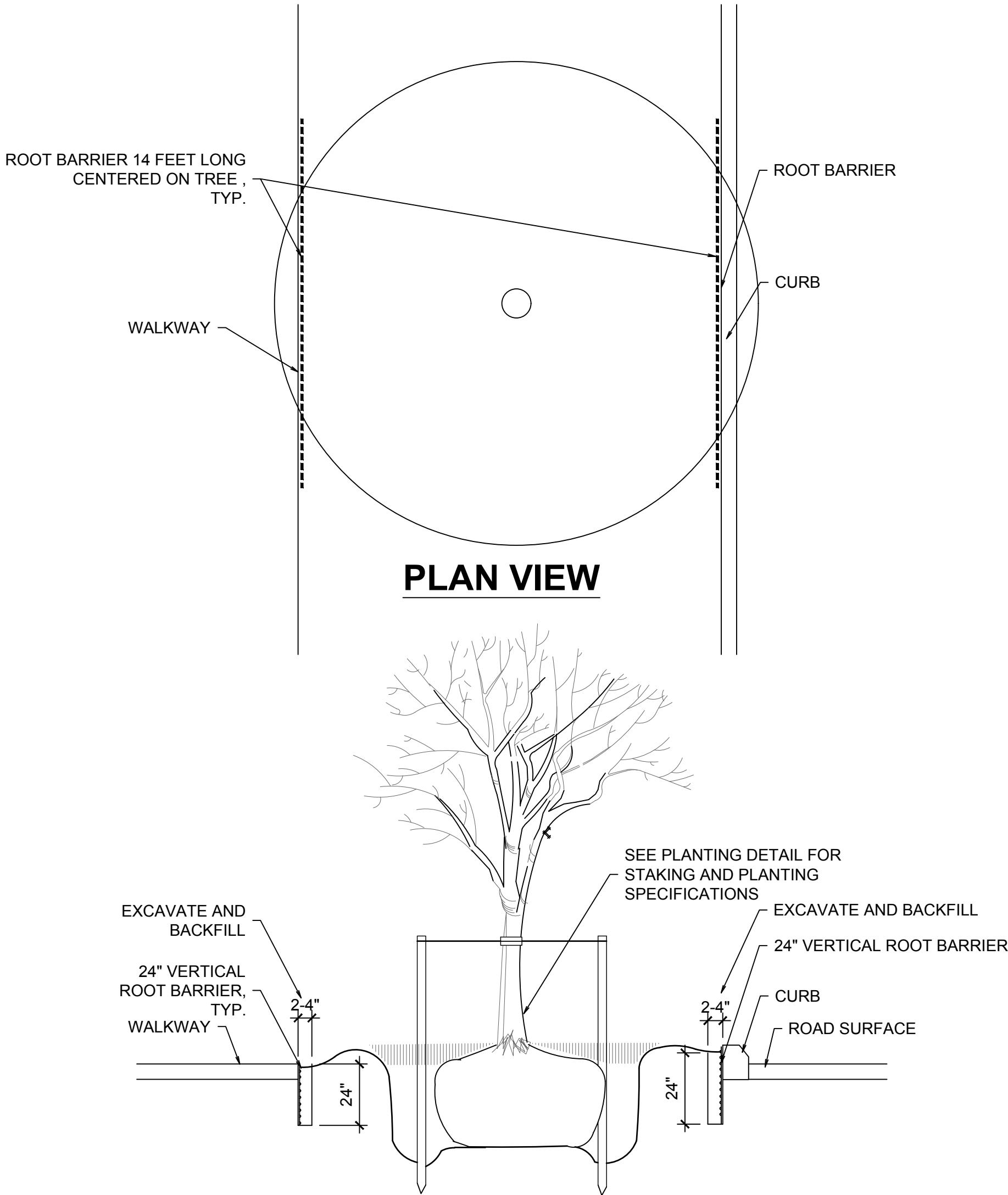
Popular heavy duty four sided steel table with HDPE poly table tops and seats. The ADA version includes three seats to accommodate wheelchair access. Finish is powder coated. Surface or in-ground mount.

Installation Type: In-Ground Mount, Surface Mount
Finish Type: Powder Coat, HDPE Poly

SE-5335 ADA Poly Table



Installation Type: In-Ground Mount, Surface Mount
Finish Type: Powder Coat, HDPE Poly



ROOT BARRIER PLANTING DETAIL
PANELS - 24" DEPTH

RIGID ROOT BARRIER
ROOT BARRIER SHALL BE RIGID TYPE ROOT BARRIER MODULE PANELS AND SHALL BE AT LEAST 75% RECYCLED POLYPROPYLENE OR HIGH IMPACT POLYSTYRENE WITH ADDED ULTRAVIOLET INHIBITORS. MATERIAL SHALL HAVE .060 INCH TO .075 INCH WALL THICKNESS, 24 INCH HEIGHT. PANELS SHALL HAVE REINFORCING RIBS 1/2 INCH DEEP, RAISED VERTICAL RIBS RUNNING PERPENDICULAR TO SHEET, 6 INCHES ON CENTER

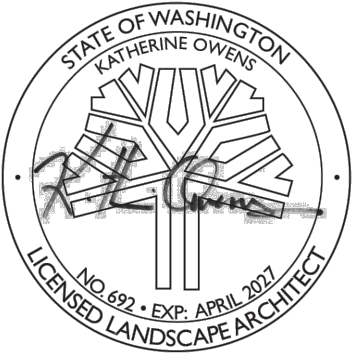


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CHECKED BY: KLO
X-REFS: NONE
PLOT SCALE: 1:1
DRAWING SCALES: N.T.S.

DRAWING CONTENTS

LANDSCAPE
DETAILS &
NOTES

DRAWING NO.:

L2

18.180.080 Long-term tree protection and maintenance.

- A. The trees retained as required by this chapter shall be preserved and maintained as established in the conditions of the land development approval.
- B. The tree retention tract(s), open space tract(s) or other permanent protective mechanisms for tree retention shall be owned and maintained through a homeowners' association or other common ownership. The face of the plat, binding site plan or similar document shall include a statement(s) that the project's homeowners' association or other common ownership will own and maintain the tree retention tracts and enforce any activities contrary to the retention and preservation of the trees.
- C. Individual properties that include trees identified for retention and protection by easement, tract, or covenant restriction shall record a notice on title of the existence of such protected trees against the property with the Kitsap County auditor's office, prior to certificate of occupancy. The notice shall be approved by the director for compliance with this provision.
- D. Permanent fencing of the tree protection tract or easement shall be required. This shall be accomplished by installing a wood, split-rail fence with applicable signage. The director may approve pedestrian-sized openings for the purpose of facilitating passive recreation within the tract for the benefit of the community. The director may authorize alternate styles and/or materials for the required fencing.
- E. The boundary between a tree protection easement or tract and the abutting land must be permanently identified. This identification shall include permanent wood or metal signs. Sign locations and size specifications are subject to city review for approval. Suggested wording is as follows: Protection of these trees is in your care. Alteration or disturbance of trees is prohibited by law without prior city approval.
- F. The trees retained as required by this chapter may be removed to remedy a hazardous tree or public safety reasons only, and upon review and approval of the planning director and city arborist. The tree(s) shall be replaced per Section 18.180.070(F).
- G. Pruning of trees retained as required by this chapter may be permitted for maintenance and health of tree(s) or other justifications found acceptable by the city, and upon review and approval of the planning director and city arborist. Trees shall not be topped.

LANDSCAPE MANAGEMENT SCHEDULE

In the table below, indicate the month and year the planned management activity will be carried out for all required landscaping. The required management period is FIVE (5) years. The year of the management activity is indicated by the number input into the cell, e.g. the number 2 is input into the cell if the management activity is to be carried out during year 2. Year 1 is the as-built year, and year 1 is the first growing season, 2 is year 2, 3 is year 3, etc. In many cases, management activities will be carried out during multiple years, the cell should indicate all years when the management activity will be carried out.

MANAGEMENT SCHEDULE												
TREES	MONTH											
MANAGEMENT ACTIVITY	J	F	M	A	M	J	JULY	A	S	O	N	D
PRUNING												
CROWN RAISING (FOR CLEARANCE)		3										
REMOVAL OF DEAD / DISEASED / DYING BRANCHES		1, 2, 3, 4,5										
STRUCTURAL PRUNING		1, 2, 3, 4,5										
REMOVAL / REPLACEMENT												
DEAD / DISEASED / DYING TREES (trees should be replaced between Oct 1 and March 1)	1, 2, 3, 4,5	1, 2, 3, 4,5	1, 2, 3, 4,5							1, 2, 3, 4,5	1, 2, 3, 4,5	1, 2, 3, 4,5
WATERING												
5 YEARS OF WATERING FOR ESTABLISHMENT MINIMUM DURING DRY SEASON					1, 2, 3, 4,5	1, 2, 3, 4,5	1, 2, 3, 4,5	1, 2, 3, 4,5	1, 2, 3, 4,5			
SHRUBS	MONTH											
MANAGEMENT ACTIVITY	J	F	M	A	M	J	JULY	A	S	O	N	D
PRUNING												
FOR PUBLIC SAFETY / VISIBILITY		1, 2, 3, 4,5								1, 2, 3, 4,5		
REMOVAL OF DEAD / DISEASED / DYING BRANCHES		1, 2, 3, 4,5										
REMOVAL / REPLACEMENT OF DEAD / DISEASED / DYING SHRUBS (Shrubs should be replaced between Oct 1 and March 1)	1, 2, 3, 4,5	1, 2, 3, 4,5	1, 2, 3, 4,5							1, 2, 3, 4,5	1, 2, 3, 4,5	1, 2, 3, 4,5
WATERING												
5 YEARS OF WATERING FOR ESTABLISHMENT MINIMUM DURING DRY SEASON					1, 2, 3, 4,5	1, 2, 3, 4,5	1, 2, 3, 4,5	1, 2, 3, 4,5	1, 2, 3, 4,5			
WEED CONTROL FREQUENCY & MODE OF ACTION												
Hand Weeding, Strimming, Mowing, pre-emergent application after weeding (4 mo interval) Removal and Haul all debris / weeds to appropriate location for composting or disposal			X				X				X	
MULCHING												
Spread Mulch (recommended 3-4" thick layer in planters, tree wells, and planting beds)			X									

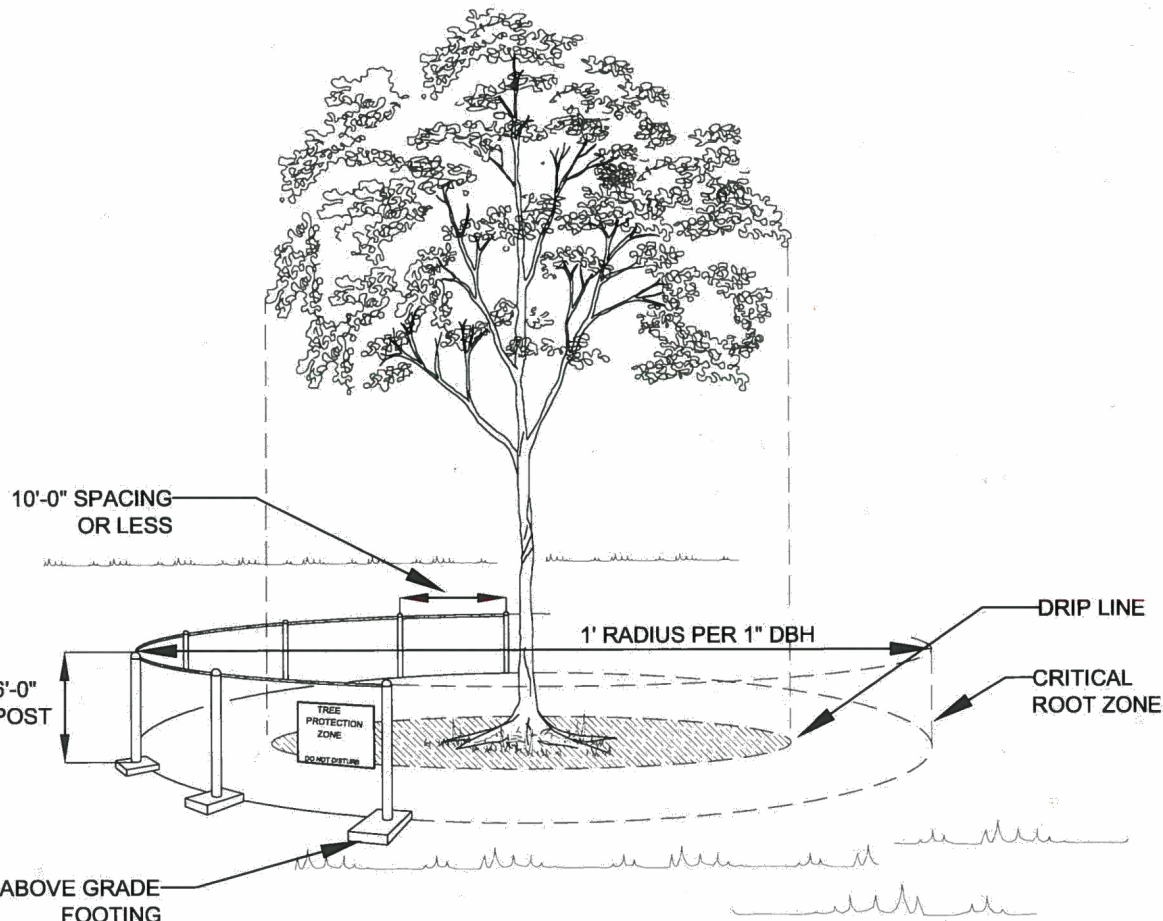
TREE PROTECTION ZONE (TPZ)

The Tree Protection Zone is an arborist defined area surrounding the trunk intended to protect the roots and soil to ensure future tree health and safety.

The location of the Tree Protection Zone is at the edge of the Critical Root Zone OR Drip Line, whichever is greater, or area as defined by the projects arborist.

TREE PROTECTION FENCING

- Erect readily visible six-foot (6'-0") high chain link fencing at the edge of the Tree Protection Zone, and at the boundary of any open space tracts or conservation easements that abut the construction site except where, due to space restrictions, a specific distance is specified by the project's arborist.
- Fencing shall be secured 6 foot metal posts with movable footings located above ground. metal posts shall not be more than 10 feet apart.
- Fencing shall be flush with the initial undisturbed grade.
- Signs shall be attached to the fencing stating that the tree is designated for protection and the area inside the fencing is a TPZ, which is not to be disturbed unless prior approval has been obtained from the city and/or the project's arborist.
- Maintain the fencing in place until the city authorizes removal or a final certificate of occupancy is issued, whichever occurs first.
- Ensure that any landscaping done in the TPZ, subsequent to the removal of the fencing, shall be accomplished with light machinery or hand labor.
- No construction activity shall occur within the TPZ, including but not limited to:
 - Dumping or storage of materials such as building supplies, soil, waste items, and
 - storage of vehicles or equipment



ZONE A (CRITICAL ROOT ZONE)

The Critical Root Zone is the area under a tree measuring 1 foot of radius per 1 inch of diameter at breast height (DBH) from the trunk outwards and 24 inches in depth. For example: for a 10 inch dbh tree, the Critical Root Zone is located at least 10 feet out from the trunk and 24 inches deep.

RESTRICTIONS

- No disturbance allowed without site-specific inspection and approval of methods to minimize root damage.
- If roots larger than 2" IN DIA. are encountered, inspection and approval is required before proceeding trenching/excavation work.
- Tunneling is required to install lines 3'-0" below grade or deeper.

ZONE C (FEEDER ROOT ZONE)

The Feeder Root Zone is the area under a tree measuring 2 feet of radius per 1 inch of DBH from the trunk outwards and 24 inches in depth. For example: for a ten inch diameter tree, The Critical Root Zone is located at least 20 feet out from the trunk and 24 inches deep.

RESTRICTIONS

- Operation of heavy equipment and/or stockpiling of materials subject to approval. *Surface protection measures required
- Trenching permitted as follows:
 - excavation by hand or WITH hand-driven trencher maybe required
 - Minimize trench width to the extent possible
 - Maintain 2/3 or more of ZONE C in an undisturbed condition

ZONE B (DRIP LINE)

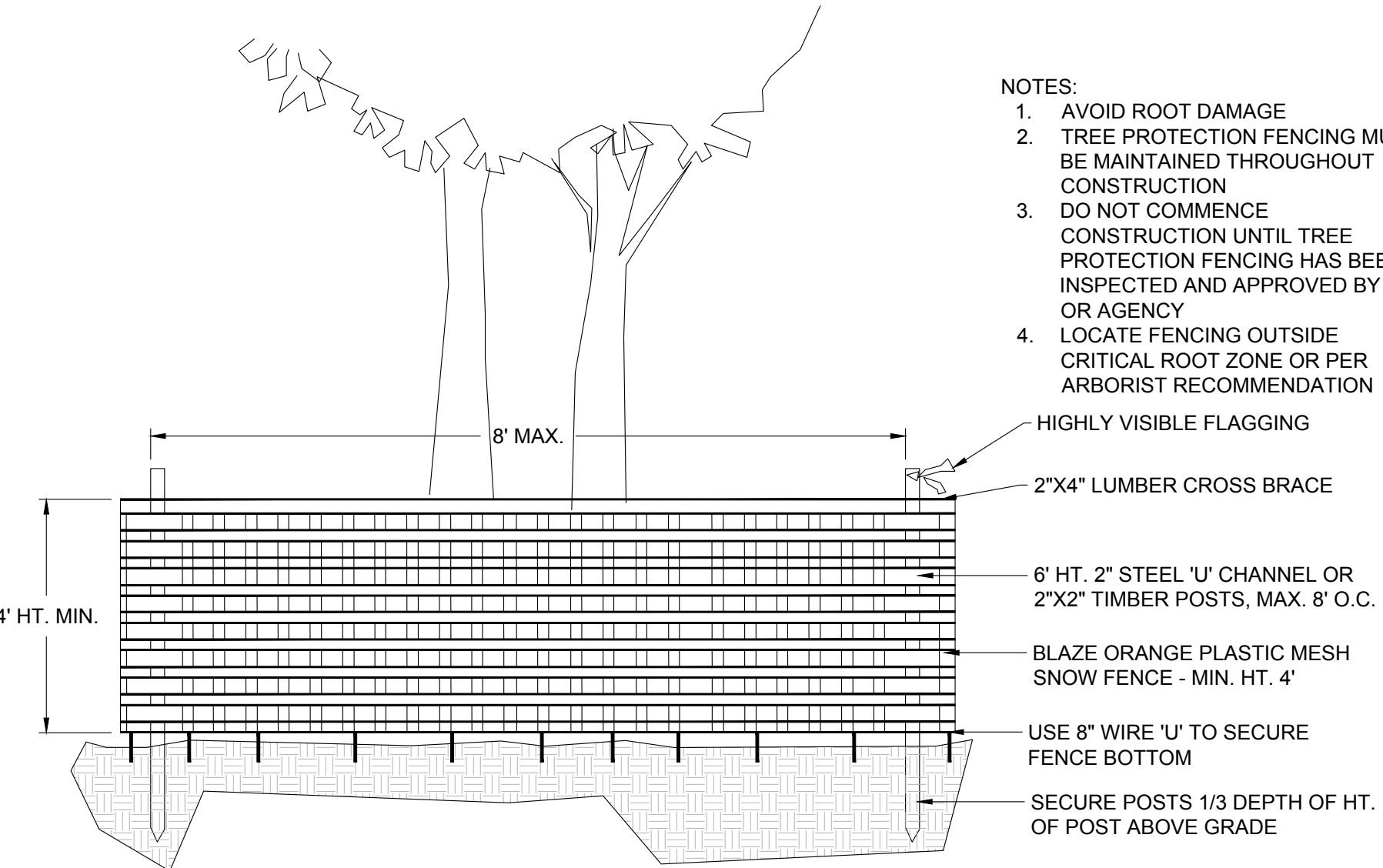
The Drip Line is the area below the tree in which the boundary is designated by the edge of the tree's crown.

RESTRICTIONS

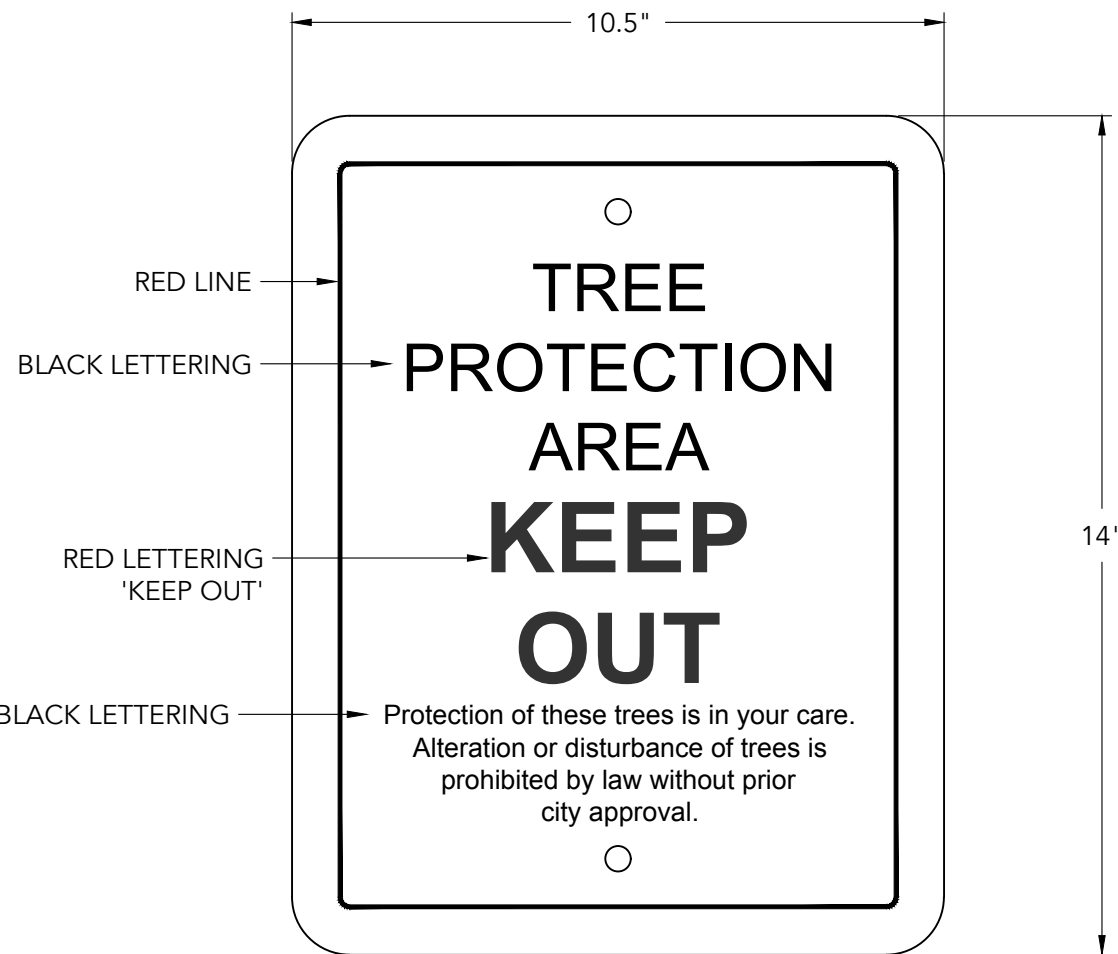
- Operation of heavy equipment and/or stockpiling of materials subject to approval. *Surface protection measures required
- Trenching permitted as follows:
 - Excavation by hand or with a hand-driven trencher may be required
 - Minimize trench width to the extent possible
 - No disturbance permitted within ZONE A
 - Maintain 2/3 or more of zone b in an undisturbed condition
- Tunneling may be required for trenches deeper than 3'-0"

*SURFACE PROTECTION MEASURES

- Wood chip mulch layer, 6"-12" depth; or
- 4" wood chip mulch layer under 3/4" plywood; or
- 4" gravel over staked geotextile fabric
- 4" wood chip mulch layer under steel plates;
- 4" wood chip mulch layer under logging road mats

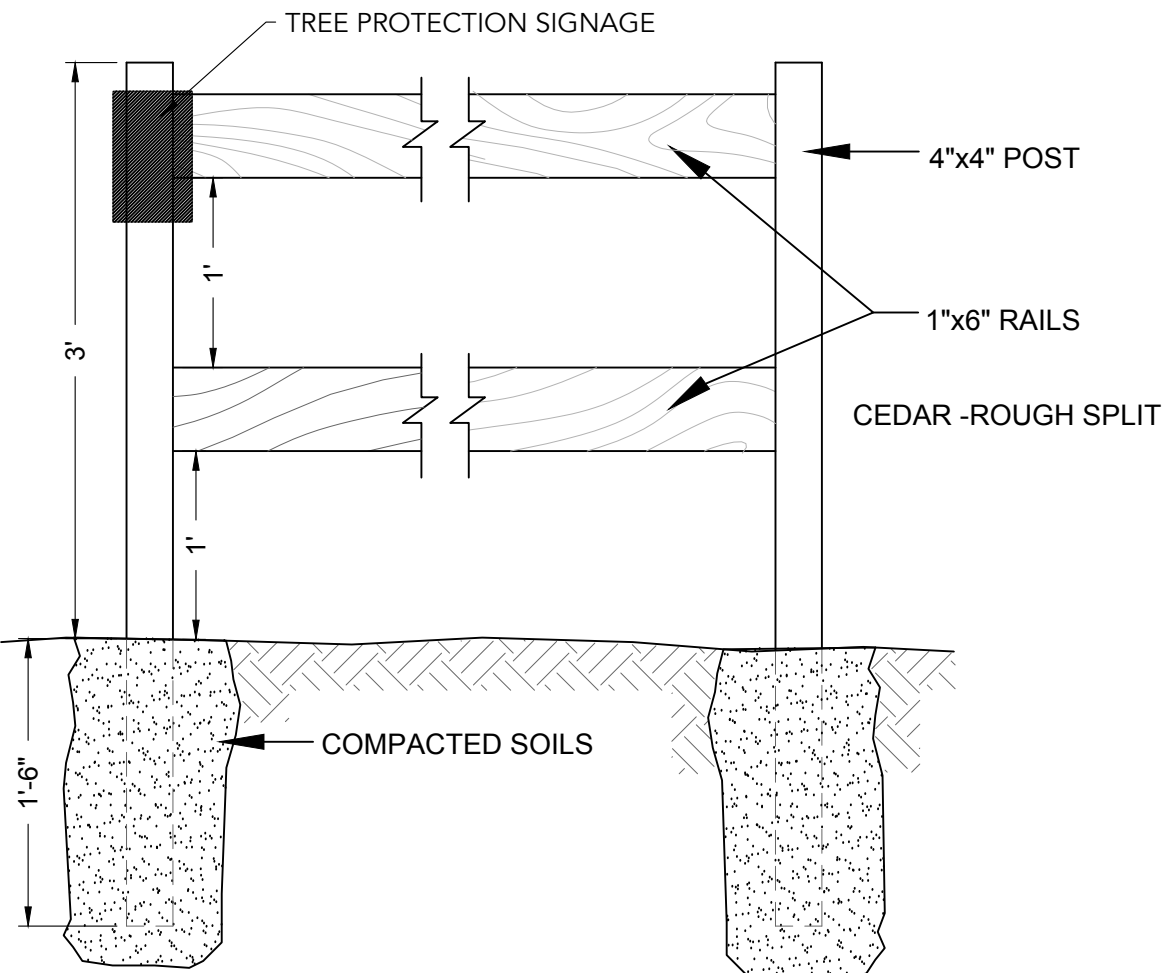


TEMPORARY TREE PROTECTION FENCING - ORANGE MESH FABRIC



PERMANENT TREE PROTECTION AREA SIGNAGE

SCALE: N.T.S.



SPLIT 2 RAIL FENCE DETAIL

NOT TO SCALE

PERMANENT TREE PROTECTION AREA FENCING

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- F. The trees retained as required by this chapter may be removed to remedy a hazardous tree or public safety reasons only, and upon review and approval of the planning director and city arborist. The tree(s) shall be replaced per Section 18.180.070(F).
- G. Pruning of trees retained as required by this chapter may be permitted for maintenance and health of tree(s) or other justifications found acceptable by the city, and upon review and approval of the planning director and city arborist. Trees shall not be topped.



CEDAR VIEW AT GLENWOOD

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DRAWING CONTENTS

MAINTENANCE PLAN, TREE PROTECTION FENCING & SIGNAGE

DRAWING NO.:

L4

4 OF 4

ORIG. SHEET SIZE 22X34